



KLLP2040

KUALA LUMPUR LOCAL PLAN 2040

MANAGING CITY PLANNING



VOLUME 1
PART 1

DEVELOPMENT CONTROL



KUALA LUMPUR LOCAL PLAN 2040

VOLUME 1: PART 1 DEVELOPMENT CONTROL



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KLLP2040

KUALA LUMPUR LOCAL PLAN 2040

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The Kuala Lumpur Local Plan 2040 (KLLP2040) is prepared by the Kuala Lumpur City Hall (KLCH) considering the needs, and perspectives from various groups consisting of professional groups, government agencies, industries, interest groups, and local communities.

KLLP2040 translates a long-term vision towards a City for All by strengthening Kuala Lumpur's planning in line with the sustainability agenda. The KLLP2040 document comprises two (2) volumes – Volume 1, and Volume 2. The document that forms the basis, and justification for the proposed land use zone, and intensity is contained in Volume 1 of KLLP2040. This plan sets out planning strategies, and identifies development implementation proposals for Kuala Lumpur towards the year 2040. KLCH will utilise KLLP2040 to evaluate development applications, and execute tasks associated with Kuala Lumpur's development phases.

This document provides an administrative framework, and guidance to KLCH in carrying out its duties as the local authority while also taking into account the achievements of the KLCP 2020.

Therefore, KLCH also extends its highest appreciation to all parties involved — at the Federal, State, Local, and Community levels for their contributions, and cooperation in the successful preparation of KLLP2040.

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Preface

**Assalamualaikum Warahmatullahi Wabarakatuh,
Greetings, and Salam Malaysia MADANI.**

All praise, and gratitude to Allah SWT because with permission, and grace, the Kuala Lumpur Local Plan 2040 document Kuala Lumpur 2040 (KLLP2040) has been successfully completed, and gazetted as a key document in planning a more sustainable future for Kuala Lumpur liveable, and inclusive.

The timing of this plan is crucial since Kuala Lumpur is dealing with the effects of climate change, the pressures of rising urbanisation, and the majority's expectations for a more equitable, well-rounded, and fulfilling urban life. KLLP2040 will serve as a compass in this regard, striking a balance between the necessity of long-term sustainability, humanitarian ideals, and physical progress.

I believe that the strength of this plan lies in its planning structure, and the spirit of inclusiveness that serves as its foundation, and guide. This approach aligns with the vision for the development of CHASE City, which is Clean, Healthy, Advanced, Safe, and Eco-friendly, serving as the framework for the Federal Territory's direction based on well-being, and a shared future.

I also appreciate the commitment of the Kuala Lumpur City Hall (KLCH), and the dedication shown by all stakeholders, including technical agencies, planning experts, the private sector, civil society, and city residents, who have made valuable contributions throughout the process of preparing this plan.

Hopefully, KLLP2040 should be able to provide a strong basis that is solid in shaping Kuala Lumpur as a progressive global city, and sustainable by 2040, in line with our aspirations in building a Federal Territory that upholds the spirit of Malaysia MADANI.

Thank you.



KL
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YB DATUK SERI DR. ZALIHA BINTI MUSTAFA
Minister in the Prime Minister's Department (Federal Territories)

Preface

**Assalamualaikum Warahmatullahi Wabarakatuh,
Greetings, and Salam Malaysia MADANI.**

All praise, and gratitude to Allah SWT because with His abundant grace, the Kuala Lumpur City Hall (KLCH) has successfully prepared the Kuala Lumpur Local Plan 2040 (KLLP2040), a planning document that becomes the main basis for the direction of development, and control of the physical planning of the city of Kuala Lumpur for the future.

KLLP2040 is framed based on the aspirations of the 17 Sustainable Development Goals (SDGs), the New Urban Agenda, as well as national policies including Malaysia MADANI Policy, to ensure Kuala Lumpur remains relevant, and progressive in facing challenges globally, and locally. Each core of Malaysia MADANI has integrated comprehensively into the strategy, and initiatives of this plan. In addition, KLLP2040 also details the implementation of the KLCH 2040 Strategic Plan with translating the vision, objectives, and strategic framework of KLCH into comprehensive, and detailed physical proposals based on local needs.

KLLP2040, serving as the primary reference document for guidance, and planning control, emphasizes balanced physical, economic, social, and environmental development. It addresses various current, and future issues, including the effects of climate change, rapid urban population growth, technological advancement, demand for smarter mobility, as well as the need for environmentally friendly, and resilient infrastructures.

KLLP2040 is widely used in the decision-making process by KLCH, and other stakeholders, especially in the assessment of planning permission applications, implementation of development, preparation of plans sectoral actions, as well as references for investors, and professional planners. This plan also serves as a basic guideline for landowners, and developers when planning development proposals to align with the city's strategic direction.

As a comprehensive plan, KLLP2040 has three main strengths, namely, it is (evidence-based) through data analysis, and spatial studies that are comprehensive; uses a smart approach (smart) through the integration of technology, and geospatial information systems, and it is (people-centred) by prioritising public involvement, and community participation at every stage of its provision. The approach is designed to ensure that Kuala Lumpur is able to offer a higher quality of life to all layers of society without neglecting the preservation of cultural heritage, and urban identity.

KLLP2040 also reflects KLCH's commitment to implementing data-driven, inclusive planning, and responsiveness. The process of preparing this plan has emphasised extensive engagement with the local community, government agencies, the private sector, non-governmental organisations, and academic institutions. The views, and feedback received have translated into a more solid framework of strategy, and implementation, making KLLP2040 truly a plan owned collectively by the city's residents to achieve sustainable development.

Moving forward, Kuala Lumpur will continue to be a smart city that not only utilises technology to enhance service efficiency but also prioritises the well-being, and happiness of its citizens. We must build a city that upholds humanitarian values, preserves environmental sustainability, reinforces social inclusion, and expands access to fair, and equitable economic opportunities.

I urge all stakeholders, including the public sector, the private sector, and society, to make KLLP2040 the main reference for every action, and decision involving urban development. Only with a joint commitment can we ensure Kuala Lumpur continues to progress as a resilient city, liveable, and loved by all. From Liveable to Loveable City For All.

In conclusion, I extend my highest appreciation to all KLCH's staff, strategic partners, and the residents of Kuala Lumpur who have contributed to the success of the KLLP2040 preparation. Let's come together to realise this plan for the benefit of future generations.

Thank you.



YBHG. DATO' SERI TPR (DR.) MAIMUNAH BINTI MOHD SHARIF
Mayor of Kuala Lumpur

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INTRODUCTION



A local plan for Kuala Lumpur namely the Kuala Lumpur Local Plan 2040 (KLLP2040) has been prepared in accordance with the provisions of Section 13 of the Federal Territory (Planning) Act 1982 (Act 267).

The framework for the preparation of KLLP2040 is in line with Section 17 of the Federal Territory (Planning) Act 1982 (Act 267), which provides for the need to amend, add, review, revoke, or replace in whole or part of the local plan. It replaces the Kuala Lumpur City Plan 2020 (KLCP 2020).

The KLLP2040 is prepared in two (2) volumes:

1. VOLUME 1: Managing City Planning

This document focuses on urban planning management, which includes planning control guidelines, land use zones, and development intensity maps, as well as use of land and building classes; and

2. VOLUME 2: Promoting City Development

This document focuses on the translation of KLSP2040 through planning strategies, implementation proposals, and implementation initiatives, as well as forming the basis for the detailed planning control in Volume 1.

THE RELATIONSHIP BETWEEN KUALA LUMPUR STRUCTURE PLAN 2040 (KLSP2040) AND KUALA LUMPUR LOCAL PLAN 2040 (KLLP2040)

The KLLP2040 is prepared to translate the goals and strategic direction of KLSP2040 into the form of a more detailed physical plan to achieve the vision of “Kuala Lumpur A City for All”.

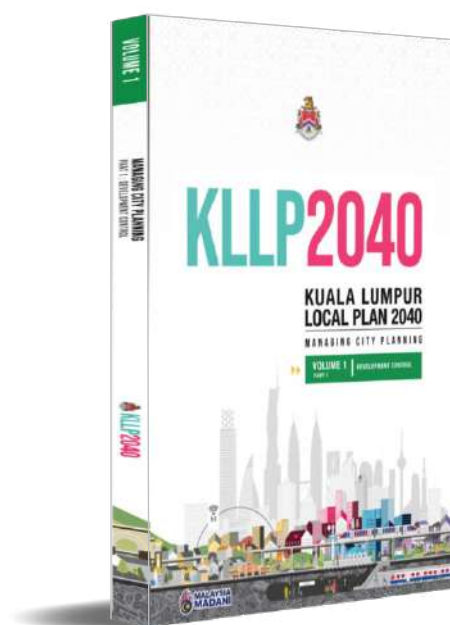
The translation of the KLLP2040 is carried out based on planning strategies and implementation proposals through sustainable development and land use management. It is further translated into a map of land use zones and development intensity, as well as statements to guide Kuala Lumpur's planning in the future.

APPLICATION OF KUALA LUMPUR LOCAL PLAN 2040 (KLLP2040)

Once adopted, KLLP2040 shall remain in effect until it is amended, revoked, or replaced in whole or in part.

This plan applies to all areas within Kuala Lumpur that fall under the jurisdiction of the Kuala Lumpur City Hall (KLCH) as the Local Authority. It also focuses on protected areas such as forests and hilly lands, heritage zones and buildings, as well as government and private lands within Kuala Lumpur. However, in the event of any discrepancies with KLSP2040, the KLLP2040 document shall take precedence, considering its more recent preparation.

Figure 1.1.1:
Volume1: Managing City Planning



The Mayor of Kuala Lumpur may, at any time, alter, add, revise, repeal or replace in whole or part of this local plan in accordance with Section 17 of the Federal Territory (Planning) Act 1982 (Act 267).

1-3.1 Changes of Land Use Zones

All land plots in Kuala Lumpur have been designated with land use zones. Therefore, permitted uses and activities must comply with the use class as stated in Volume 1: Part 3, Classes of Use of Land and Buildings 2025 (CULB2025).

Changes to land use zones, other than those designated through the planning permission application process are not permitted. Land use zone changes are allowed only through the process in accordance with the provision of Section 17 of the Federal Territory (Planning) Act 1982 (Act 267) which states that the Mayor can alter, add, revise, repeal or replace in whole or part of the KLLP2040.

However, if any application for planning permission is not in line with the land use zone, planning permission can still be granted according to the discretion exercised in accordance with the provisions of Section 22 (1) of the Federal Territory (Planning) Act 1982 (Act 267) or any provision of the act that replaces it or subject to any stipulations set by the government.

Changes to the land use zone must be made when the proposed development is not in line with the land use zone set in the Kuala Lumpur Development Control Plan 2025 (KLDCP2025), as shown in Figure 1.3.1. However, land and building use is permissible or permissible with conditions in the Classes of Use of Land and Buildings 2025 (CULB2025) does not require the alteration process.

Additionally, the re-planning of an area involving infrastructure, utilities, transport, community facilities, or open space does not require a change in the land use zone, provided that the area involved does not exceed 30 percent of the developed area, as shown in Figure 1.3.2. This ensures the planning maintains the original or basic use and takes into consideration both current and future needs of an area. The stated land use is supportive land use and not the main land use for an area.

Other developments that do not involve the alteration process consist of four (4) land use zones, and the specific conditions for the exemption are as follows:

1. Land Use Zone – Institution (INT):
 - a. Permissible development in the form of residing in line with any requirement by the government as well as subject to planning suitability, including socioeconomic benefits; and
2. Land Use Zone – Private Open Space (OS3), Infrastructure and Utilities (IU) and Transportation (TR):
 - a. Development for the purpose of socioeconomic benefits (commercial or residing component) on part of the site is subject to suitability involving aspects of site size, location, environment, and carrying capacity of an area.

Figure 1.3.1:
Examples of Land Use Zone Changes that Require
KLDCP2025 Alteration

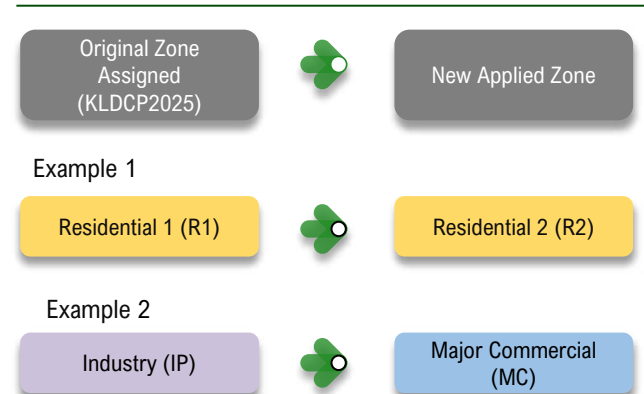
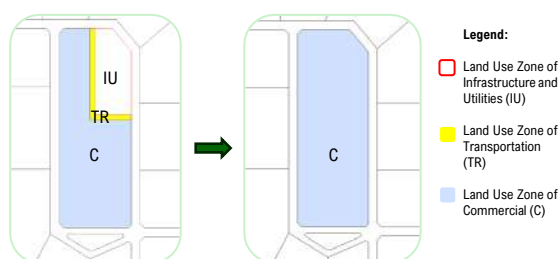


Figure 1.3.2:

Examples of Area Replanning that Does Not Involve Land Use Zone Changes



Change of Land Use Zone of Infrastructure and Utilities (IU) and Transportation (TR) to Land Use Zone of Commercial not exceeding 30 percent of land area in same plot.

BRIEF INFO

SCENARIO OF CHANGE OF LAND USE ZONE

- 1 Changes for the purpose of enabling development, such as access to the site that involves amalgamation of lots with road reserves or existing roads in layout planning. Infrastructure related to layout replanning includes infrastructure and utilities, green linkage and green areas that are not designated for public use. For example, changing the Land Use Zone of Open Space 2 (OS2) to Transportation (TR) for the purpose of access to new development.
- 2 The development of affordable housing in Land Use Zone of Residential 3 (R3) is encouraged due to the provision of incentives for affordable housing. Nevertheless, this development does not require a change of Land Use Zone of Residential 3 (R3) to Land Use Zone of Residential 4 (R4).

1-3.2 Changes in Intensity

The KLLP2040 has identified matters that do not require the process of changing the local plan (alteration process) as follows:

1. Development intensity that is lower than the provisions in the KLLP2040 within the same main land use; and
2. Development that increases intensity due to the provision of incentives granted in line with current guidelines or policies stipulated by the government.

1-4

CLASSES OF USE OF LAND AND BUILDINGS 2025 (CULB2025)

Classes of Use of Land and Buildings 2025 (CULB2025) allows more than one (1) class of use in each land use zone. However, a planning permission application is required to change from one class to another within the same land use zone, as shown in Figure 1.4.1. The Mayor may determine forms of class changes that do not require approval of planning permission applications by considering planning requirements or changes that do not involve material changes. Nevertheless, there are two (2) scenarios that require the application of planning permission:

1. Intensification of use. If the activity involves increasing the intensity of use, then it requires the application of planning permission; and
2. Sensitivity involving activities related to entertainment, race, religion, social issues, security, and others.

Examples of CULB2025 changes are as follows:

1. Example 1: The same main class of use

- a. Changing the use of Class A3 – Office to Class A4 – Financial Institution, involving banks in the main use class does not require an application for planning permission; and
- b. Changing the use from Class A1 – General Retail to Class A5 – Food and Drink shall be subjected to the Licensing By Laws, restaurant use still requires the application of planning permission approval.

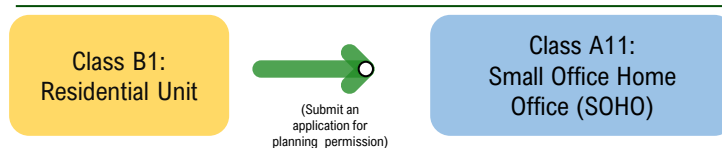
2. Example 2: Different main class of use

- a. Changing of Class A3 – Office to Class B3 – Labour Quarters or Centralised Labour Quarters requires application for planning permission.

In addition, CULB2025 needs to go through an alteration process if there is a new class of use that cannot be accommodated within any existing class of use. However, an addition of types of activity within the same class will not involve an alteration process.


Figure 1.4.1:

Alteration in Class of Use within a Zone



This document focuses on managing urban planning and consists of three (3) main parts which are detailed as follows:

Table 1.5.1: Contents of KLLP2040 Volume 1 Document

	Content
	Part 1, Development Control <ol style="list-style-type: none"> Chapter 1 explains the content and application of Volume 1; Chapter 2 explains the Land Use Zone Map which contains the principles for determining land use zones, classification, definitions, types of land use zones, and stipulation of special implementation provisions for the Land Use Zone of Mixed Development (MX); Chapter 3 explains the principles for determination and stipulation of the development intensity, which are the plot ratio and building height control as well as density control for certain situations that are applicable in all areas in Kuala Lumpur; Chapter 4 explains the layers of planning control which are Planning Control Layer for Layout Plan Intensity Control, Planning Control Layer for River, Lake and Pond Side Corridors, Planning Control Layer for Heritage Areas or Buildings, Planning Control Layer for Height Control Zone Surrounding The Istana Negara, Planning Control Layer for Visual Line of Sight Towards Iconic Landmarks, Planning Controls Layer for Public Open Space in Private Schemes (OS4), and Planning Controls Layer for Affordable Housing (RMM); and Chapter 5 explains planning incentives for development in areas of Transit Planning Zone (TPZ), Lot Amalgamation, Redevelopment, and Affordable Housing (RMM).
	Part 2, Land Use Zone and Intensity Map (KLDCP2025) <ol style="list-style-type: none"> Chapter 1 describes the introduction and methods of using Part 2; and Chapter 2 contains land use zones, development intensity, planning control layers, and designated incentives area known as the Kuala Lumpur Development Control Plan 2025 (KLDCP2025).
	Part 3, Classes of Use of Land and Buildings 2025 (CULB2025) <ol style="list-style-type: none"> Chapter 1 explains the application of Classes of Use of Land and Buildings 2025 (CULB2025); Chapter 2 contains the definitions of Classes of Use of Land and Buildings 2025 (CULB2025); Chapter 3 explains the classifications of Classes of Use of Land and Buildings 2025 (CULB2025); Chapter 4 contains tables of General Classes of Use of Land and Buildings (General CULB); Chapter 5 contains tables of Special Classes of Use of Land and Buildings (Special CULB); and Chapter 6 is the descriptions of Classes of Use of Land and Buildings 2025 (CULB2025).

Kuala Lumpur Development Control Plan 2025 is referred to as **KLDCP2025** throughout this document. This plan translates various goals, planning strategies and implementation proposals of the KLLP2040 in the aspects of spatial control and physical development. It contains detailed provision on aspects of development and land use in Kuala Lumpur as a guide for development planning by property owners, developers, investors, relevant agencies and the community.

KLDCP2025 will also contribute to the growth and character of Kuala Lumpur through various provisions covering all aspects related to development in Kuala Lumpur. These provision include measures that contribute towards sustainable built and natural environment, effective transportation facilities, social facilities and housing well-being as well as creative innovation in infrastructure and utilities as an effort to achieve Kuala Lumpur's goals for the next 20 years.

KLDCP2025 consists of several planning actions used to regulate, control and manage physical development of land through development control processes and methods. Development of any land must refer to and comply with the provisions and regulations in this document. Additionally, applications for planning permission are also subject to meeting the technical requirements of the KLCH and relevant agencies.

Based on KLDCP2025, applications for planning permission in the context of development plan must comply with the following five (5) key aspects:

1. Compliance with designated Land Use Zones;
2. Compliance with designated Development Intensity;
3. Compliance with Planning Control Layer requirements;
4. Compliance with the designated Development Incentives if relevant; and
5. Compliance with Classes of Use of Land and Buildings 2025 (CULB2025).

In addition, applications for planning permission must also comply with planning control policies and guidelines set by the Mayor from time to time.

Sites that have been approved for public facilities, open spaces, or infrastructure and utilities must be marked on the Pre-computation Plan and submitted to the relevant agencies, as well as promptly inform the implementing agency regarding the reserve land.

The KLDCP2025 base map is based on the planning aspects where the determination of the actual lot boundaries is based on the land title deed.

This plan replaces KLDCP 2015, KLCP 2020 and other plans replaced by KLDCP 2015, namely the Kuala Lumpur Comprehensive Development Plan (CDP) and the gazetted layout plan, as well as other KLCH technical policies in the aspect of planning control. This includes:

1. CDP 1039 – Central Commercial Area (Figure 1.6.1);
2. CDP 1040 – Density Zoning (Figure 1.6.2);
3. CDP 1041 – Land Use Zoning (Figure 1.6.3);
4. Layout plans gazetted under the provisions of the Kuala Lumpur City (Planning) Act 1973 (Act 107) (refer to Appendix 1 for a list of gazetted layout plans); and
5. Federal Territory (Planning) (Zone and Density) Rules 1985.

Nevertheless, documents 1 to 5 above including the approved Development Order that is in effect continue to serve as the basis for determining development charges.

Figure 1.6.1:
CDP 1039 - Central Commercial Area



Figure 1.6.2:
CDP 1040 - Density Zoning

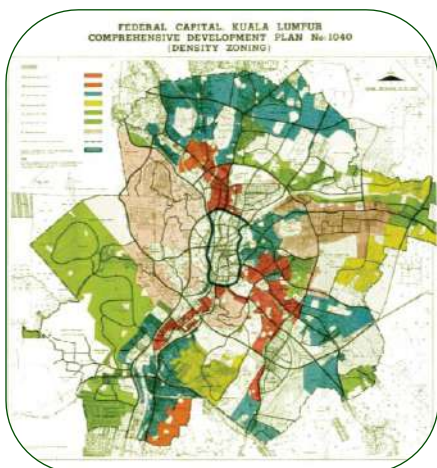
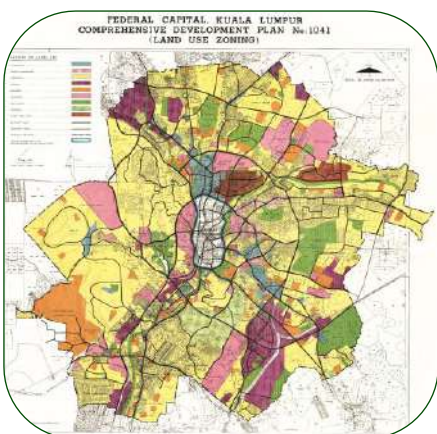


Figure 1.6.3:
CDP 1041 - Land Use Zoning



KLDCP2025 consists of four (4) components comprising two (2) maps, one (1) Planning Control Layer, and one (1) designated incentives area to control the use and development intensity of the entire Kuala Lumpur area. The components are:

1. DCP1 - Land Use Zoning Map

DCP1 - Land Use Zoning Map controls the use of land and buildings in the Land Use Zoning Map (Figure 2.3.1, Chapter 2), which provides Land Use Classification information designated for each plot of land in Kuala Lumpur. This includes land zoned for residential, commercial, mixed development, industrial, institutional, cemetery, infrastructure and utilities, open space, community facilities, and transportation.

The Land Use Zoning Map should be referred to concurrently with CULB2025 for details of the requirements and conditions of each application for planning permission. CULB2025 describes activities that are permissible, permissible with conditions and not permissible for each plot of land and building according to the designated land use zone.

2. DCP2 - Intensity Map

DCP2 - Intensity Map (Figures 3.3.1 and 3.3.2, Chapter 3) provides specific guidance on the development's intensity on a plot of land. The designated intensity is in two (2) forms, namely basic plot ratio and building height control.

Plot ratio controls are used for residential, commercial, mixed development, industrial, institutional, and community facilities land use zones. Meanwhile, for building height control is used for commercial terrace buildings or any suitable free-standing commercial lots and landed residential (Residential Zone 1 (R1), Traditional Village 1 (TV1), and Established Residential (EH)).

The use of plot ratio or building height control is intended to:

1. Control the level of development at a site;
2. Promote equality in the planning of a site;
3. Enable a variety of unit sizes that provide design flexibility to meet market and lifestyle needs;
4. Create livable and sustainable development; and
5. Create uniformity of typology and skyline with building height control.

3. Planning Control Layer

The Planning Control Layer is an additional control imposed besides the DCP1 - Land Use Zoning Map and DCP2 - Intensity Map. This layer is important to ensure a quality built environment, environmental protection and sensitivity of new development to the heritage buildings. The planning control layer is related to the following seven (7) aspects:



01

Planning Control Layer for Intensity Control of Layout Plan

Refers to control over an area that has been granted approval for plot ratio or height control based on the development scheme.



02

Planning Control Layer for River, Lake and Pond Side Corridors

Refers to the control of all new developments and redevelopment located adjacent to identified rivers, lakes and ponds.



03

Planning Control Layer for Heritage Areas or Buildings

Refers to sites and buildings that must comply with the requirements and guidelines designated to conserve and maintain the special character in the Kuala Lumpur Heritage Zone.



04

Planning Control Layer for Height Control Zone Surrounding the Istana Negara

Refers to building height control guidelines to preserve open vistas from and leading to Istana Negara.



05

Planning Control Layer for Line of Sight Towards Iconic Landmarks

Refers to additional controls on the height, orientation or design of new buildings located within the visual line of sight to identified Kuala Lumpur's iconic landmarks.



06

Planning Control Layer for Public Open Space in Private Schemes (OS4)

Refers to open space handed over to KLCH or specified through express conditions in the land title deed or through an undertaking agreement for public use and not only specific to the local community.



07

Planning Control Layer for Affordable Housing (RMM)

Refers to redevelopment or new areas containing an affordable housing component that has been approved or agreed upon in principle.

B1



2.0

LAND USE ZONE



2.0

LAND USE ZONE

KUALA LUMPUR LOCAL PLAN 2040



Location: Kuala Lumpur
Source: <https://www.shutterstock.com/g/firdausmahadi>
An aerial view of rapidly developing Kuala Lumpur

The KLLP2040 has determined the land use zones for each plot of land in Kuala Lumpur with the aim to regulate land use planning, prevent land use conflicts and allow continuous development to take place in a sustainable manner.

The land use in Kuala Lumpur is classified into ten (10) main land uses which are further detailed into 25 land use zones shown on DCP1 - Land Use Zoning Map. The description and details related to land use activities are outlined in Part 3, Classes of Use of Land and Buildings 2025 (CULB2025). The determination of land use zones is based on 12 main aspects as shown in Table 2.1.1.

Table 2.1.1:
Main Aspects Considered in the Determination of Land Use Zones

01	KLCP 2020 Land Use Zone
02	Addendum to KLCP 2020
03	Alteration 1, 2, 3 and 4 of KLCP 2020
04	Approval of land ownership by the Federal Territory of Kuala Lumpur Land Executive Committee (JKTWPKL) or Issuance of Land Titles and Express Conditions of Land
05	Surrounding development approval trends
06	Current planning status of government lands, Mayor's land and the decision of the Federal Territory of Kuala Lumpur Land Executive Committee (JKTWPKL) Meeting
07	Replanning of traditional villages, villages and Malay Reserve areas
08	Replanning of industrial areas
09	Replanning of Land Use Zone of Established Residential (EH)
10	Verification of community facilities, institutional, open spaces, infrastructure and utility sites during the Technical Working Group (TWG) Session
11	Planning of development around new infrastructure including MRT3
12	Coordination of base map



The KLLP2040 emphasises sustainable land use management to meet present and future communities' needs. KLDCP2025 contains a Land Use Zoning Map that illustrates the principles of sustainable land use as follows:

1. Strengthening the development of existing commercial and employment centres;
2. Meeting new economic needs that will improve Kuala Lumpur's position as a Global City;
3. Integrating land use development with the transport network, especially rail transport;
4. Conserving Special Area Management Zone (ZPKK) and disaster risk;
5. Encouraging infill development and redevelopment or rehabilitation of existing sites (brownfields) to be more economical;
6. Protecting building heritage areas and sites;
7. Improving physical environment in Malay Reserve area including Malay Agricultural Settlement (M.A.S) Kampong Bharu land, traditional villages, new villages and public housing areas;
8. Providing and protecting open spaces as well as public spaces;
9. Providing community facilities that promote fairness and social inclusion;
10. Integrating green infrastructure and utility with new development;
11. Conserving natural assets including water bodies and forest reserves;
12. Managing establish residential areas;
13. Encouraging various types of housing development to accommodate the needs of all community groups;
14. Ensuring the planning of infrastructure or utility sites that have been allocated for development purposes still needs to maintain the current functions of the infrastructure or utilities; and

15. Ensuring the planning of open spaces or green areas and community facilities that have been allocated for development purposes must contribute to the provision of open spaces or community facilities for public use, following guidelines that exceed standard development requirements subject to the appropriate percentage.

All developments involving applications for planning permission shall refer to Section 19 and Section 20 of the Federal Territory (Planning) Act 1982 (Act 267).

Section 19 of the Federal Territory (Planning) Act 1982 (Act 267) states that no person shall carry out any development except in accordance with a development plan or a planning permission granted by the Mayor.

Section 20 of the Federal Territory (Planning) Act 1982 (Act 267) states that work involving maintenance, repair or other modification in buildings that do not involve changes in land or buildings use, shape, height, floor area, changes that affect drainage and health systems or contravene any provision of the development plan do not require planning permission.

This also means that no planning permission will be granted if the proposed land use or activity is not permitted according to the land use zone as set out in DCP1 - Land Use Zoning Map in Volume 1: Part 2, Land Use Zoning and Intensity Map (KLDCP2025) and Volume 1: Part 3, Classes of Use of Land and Buildings 2025 (CULB2025) as stipulated in the Federal Territory (Planning) Act 1982 (Act 267).

DCP1 - Land Use Zoning Map (Figure 2.3.1) shows the distribution of 25 land use zones set in spatial form for the whole of Kuala Lumpur. This means that a plot of land can be developed only according to the designated land use zone. However, this right is granted only after the application for planning permission and approval is obtained. In contrast, the current use of the plot of land will remain in effect until the application is made and approved or until an order is issued by Kuala Lumpur's Mayor.

The designated land use zone is determined by its main function and use. In general, land use zone is categorised into ten (10) main land use classifications, as shown in Table 2.3.1. Additionally, Table 2.6.1 describes details of the 25 land use zones.

BRIEF INFO

LAND USE OF KLLP2040



10

MAIN LAND USE CLASSIFICATIONS



25

LAND USE ZONES

Table 2.3.1: Classification of Land Use Zones in Kuala Lumpur

Main Land Use Classifications	Land Use Zone	Abbreviation
1. Commercial	1. City Centre Commercial (CCC)	CCC
	2. Major Commercial (MC)	MC
	3. Commercial (C)	C
	4. Local Commercial (LC)	LC
2. Mixed Development	5. Mixed Development (MX)	MX
3. Industrial	6. Industry (IP)	IP
	7. Mixed Industry (MXI)	MXI
	8. Technology Park (TP)	TP
4. Residential	9. Residential 1 (R1)	R1
	10. Residential 2 (R2)	R2
	11. Residential 3 (R3)	R3
	12. Residential 4 (R4)	R4
	13. Traditional Village 1 (TV1)	TV1
	14. Traditional Village 2 (TV2)	TV2
	15. Established Residential (EH)	EH
5. Institutional	16. Institution (INT)	INT
6. Community Facilities	17. Public Facilities (PF1)	PF1
	18. Private Facilities (PF2)	PF2
7. Cemetery and Mortuary Management	19. Cemeteries and Mortuary Management (CE)	CE
8. Open Space	20. Public Open Space 1 (OS1)	OS1
	21. Public Open Space 2 (OS2)	OS2
	22. Private Open Space (OS3)	OS3
	23. Forest Reserve (FR)	FR
	24. Infrastructure and Utilities (IU)	IU
9. Infrastructure and Utilities		
10. Transportation	25. Transportation (TR)	TR

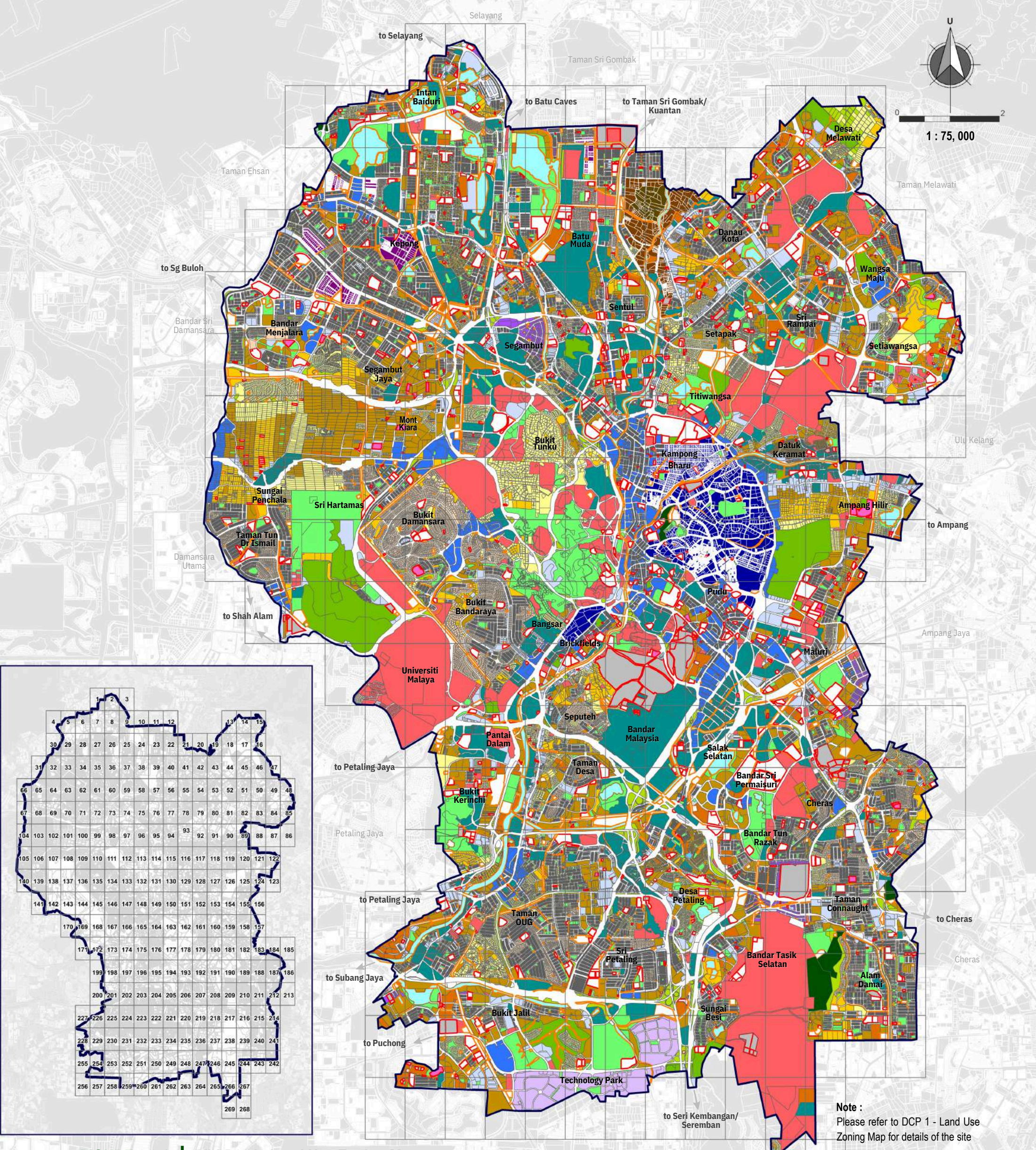


FIGURE 2.3.1 | KLLP2040 Land Use Zoning Map

Legend:

Commercial

- City Centre Commercial (CCC)
- Major Commercial (MC)
- Commercial (C)
- Local Commercial (LC)

Mixed Development

- Mixed Development (MX)

Industrial

- Industry (IP)
- Mixed Industry (MXI)
- Technology Park (TP)

Residential

- Residential 1 (R1)
- Residential 2 (R2)
- Residential 3 (R3)
- Residential 4 (R4)
- Established Residential (EH)
- Traditional Village 1 (TV1)
- Traditional Village 2 (TV2)

Institutional

- Institution (INT)

Community Facilities

- Public Facilities (PF1)
- Private Facilities (PF2)

Cemetery and Mortuary Management

- Cemeteries and Mortuary Management (CE)

Infrastructure and Utilities

- Infrastructure and Utilities (IU)
- Water Bodies

Open Space

- Public Open Space 1 (OS1)
- Public Open Space 2 (OS2)
- Private Open Space (OS3)
- Forest Reserve (FR)

Transportation

- Transportation (TR)

Others

- Kuala Lumpur Boundary

Note :
Please refer to DCP 1 - Land Use Zoning Map for details of the site

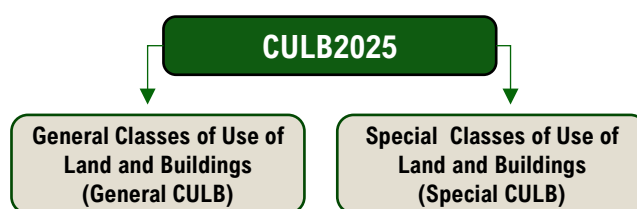
In general, the principles for determining land use zones in the KLLP2040 aim to prevent confusion during the implementation process and ensure that the zoning considers the actual activities and potential activities of the related sites. The basic principles are as follows:

1. The replanning of land use zones considers factors of development potential, infrastructure improvements, especially rail-based, development pressures and government direction as well as new policies;
2. Coordination of the appropriateness of land use zones based on designated urban growth centres, which are Primary Growth Centre, Secondary Growth Centre, District Growth Centre and Local Growth Centre;
3. The determination of Kuala Lumpur's planning concept for the next 20 years that focuses on the concentration of a compact city around transit stations. This will lead to the creation of a working, living and recreational community in an environment dependent on active mobility;
4. Readjustment of land use zones such as Local Commercial (LC), Established Residential (EH), Traditional Village 1 (TV1), Traditional Village 2 (TV2), Residential 4 (R4), Private Facilities (PF2), and Public Open Space 2 (OS2) in line with present and future needs; and
5. The planning of land owned by the Federal Government or the Government or agencies for development purposes must ensure the provision of community facilities and open spaces not only for the site itself but also for the surrounding environment as a whole.

Land use zones are supported by a document of class of use that specifically designates the classes of use of land and buildings permissible with planning permission for each land use zone.

CULB2025 has nine (9) main classes of use of land and buildings and 68 designated classes of use. CULB2025 consists of two (2) main categories, namely the General Classes of Use of Land and Buildings (General CULB) and the Special Classes of Use of Land and Buildings (Special CULB) as shown in Figure 2.5.1.

Figure 2.5.1:
Component Classes of Use of Land and Buildings 2025
(CULB2025)



General CULB involves 25 land use zones and Special CULB is categorised into two (2) as follows:

1. Specific Area Classes of Use of Land and Buildings (Specific Area CULB) involves 11 areas; and
2. Specific Village Classes of Use of Land and Buildings (Specific Village CULB) involves 25 villages.

DCP1 - Land Use Zoning Map and CULB2025 should be referred to concurrently in determining the use of land and buildings, an ancillary or related activities that may be permissible to support or manage the main use.

CULB2025 is part of the development control and must be consistently referred to during planning approval process. CULB2025 regulations are based on the principle of encouraging compatible or ancillary use in the same zone to ensure more efficient and sustainable land use can be provided.

CULB2025 is related to the list of permissible uses and activities for the main uses in the land use zone. These uses and activities are defined as classes of activities that are compatible uses and activities that are not in conflict with the purpose and goals of the respective land use zone. In general, CULB2025 describes activities that are compatible with each other and have similar impacts.

Land use zones, planning control layer and designated incentives area are shown on the Land Use Zone Map for each plot of land in Kuala Lumpur. An index map is provided in Volume 1: Part 2, Land Use Zone and Intensity Map (KLDCP2025) according to index for more detailed reference. The classification and detailed definition of land use zones are shown in Table 2.6.1 and 2.6.2.

Table 2.6.1:

Classification and Definition of Types of Land Use Zones in Kuala Lumpur

Land Use Zone	Abbreviation	Definition
A. Commercial		
1. City Centre Commercial	CCC	Refers to the highest hierarchy of commercial land use zones that serves as a centre for financial, prime commercial, services and major employment .
2. Major Commercial	MC	Refers to the commercial land use zones that serve as a major commercial centre supporting the City Centre Commercial Land Use Zone (CCC).
3. Commercial	C	Refers to commercial areas that are generally located on the main roads and at the centre of major neighbourhoods .
4. Local Commercial	LC	Refers to commercial land use zones that serve as local service centres in residential areas .
B. Mixed Development		
5. Mixed Development	MX	Refers to a mixed land use zone that allows the commercial components to support the basic use of the residing component in a development. Residing components, including residential units, quarters and serviced apartments, shall not be less than 60 percent of the total floor area.
C. Industrial		
6. Industry	IP	Refers to a land use zone for manufacturing, production, services, research and related activities . Commercial activities that support major industrial activities, such as offices and promotional spaces not exceeding 20 percent of the total floor area are permissible .
7. Mixed Industry	MXI	Refers to an industrial land use zone that allows commercial activities wherein commercial activities shall not exceed 50 percent of the total floor area. Residential activities except for quarters and hostel, as well as residential characterised commercial activities, especially service apartments, SOHO and hotels are not permissible .
8. Technology Park	TP	Refers to a land use zone for high-tech industries, mainly focuses on research and development (R&D) activities as well as other supporting activities that are regulated by agencies appointed by the government. Commercial activities and residing in the Land Use Zone of Technology Park must not exceed 10 percent of the total floor area is permissible .

Table 2.6.1:

Classification and Definition of Types of Land Use Zone in Kuala Lumpur (continued)

Land Use Zone	Abbreviation	Definition
D. Residential		
9. Residential 1	R1	Refers to a low-intensity residential zone, generally consisting of landed residential with single ownership , such as detached houses, semi-detached houses and terrace houses not exceeding 3 storeys, including landed strata with a control height of 4 levels based on guidelines provision. The existing residential building typology must be retained and harmonised with adjacent developments. Any changes in the building typology or building structure are considerable if it is compatible with the surrounding development planning and does not affect the capacity of infrastructure and public facilities.
10. Residential 2	R2	Refers to a medium-intensity residential zone , generally consisting of multi-storey dwellings, multi-storey strata and townhouses with a base plot ratio of up to 1:2.5 .
11. Residential 3	R3	Refers to a high-intensity residential zone , generally consisting of multi-storey dwellings with a base plot ratio of up to 1:4.0 .
12. Residential 4	R4	Refers to a specific residential land use zone for affordable housing, including public housing . Generally, the base plot ratio for R4 is up to 1:6.0 with multi-storey residential typology.
13. Traditional Village 1	TV1	Refers to a land use zone in a part of Kampung Padang Balang only that preserves the village characteristics and setting, consisting of detached or semi-detached houses and not exceeding 3 storeys with controlled of Traditional Malay House design .
14. Traditional Village 2	TV2	Refers to the residential land use zone in a village setting areas with various residential characteristics for part of villages within the Gombak Malay Reserve Area (MRA) only , namely a part of Kampung Padang Balang, a part of Kampung Sungai Mulia, Kampung Banda Dalam, a part of Kampung Sungai Merali, a part of Kampung Puah Asal and a part of Kampung Chubadak Hulu.
15. Established Residential	EH	Refers to the land use zone of a well-planned landed and landed strata residential area with low intensity , consisting of detached, semi-detached and terrace houses, of good quality and condition, as well as undeveloped lots located among existing residential lots . This area also provides complete provision of facilities and infrastructure that will not experience drastic typological changes during the development plan period. Ensuring the preservation of original character, height control, design and only allowing small-scale structural changes .
E. Institutional		
16. Institution	INT	Refers to the land use zone designated for the uses of cultural and civic activities, as well as government and semi-government facilities such as palaces, museums, galleries or memorials, courts, cultural centres, libraries, universities, colleges, training centres, research centres, military camps, security agency headquarters, care and rehabilitation centres, homeless transit centres, and other government-related offices, as well as allowing residential development in accordance with any requirement by the government as well as subject to planning suitability, including socioeconomic benefits. These institutional activities are usually owned or facilitated by the government, statutory bodies or non-governmental bodies .

Table 2.6.1:

Classification and Definition of Types of Land Use Zone in Kuala Lumpur (continued)

Land Use Zone	Abbreviation	Definition
F. Community Facilities		
17. Public Facilities	PF1	Refers to the land use zone designated for educational, health, safety and emergency and well-being facilities for the general public or local communities as well as for other supporting activities (as ancillary uses) that require such facilities. The provision of PF1 facilities is based on catchment areas and owned by the government or statutory body but also be managed by private parties.
18. Private Facilities	PF2	Refers to the land use zone designated generally in the development scheme's layout plan for the provision of community facilities and private education-related facilities . These facilities can be owned, operated and managed by private entities.
G. Cemetery and Mortuary Management		
19. Cemeteries and Mortuary Management	CE	Refers to the land use zone designated for the management of Muslim and non-Muslim burials . The cemetery area includes Muslim, Chinese, Hindu, Christian and other cemeteries.
H. Open Space		
20. Public Open Space 1	OS1	Refers to the land use zone of an open space for recreational activities such as leisure, games, sports or cultural activities . OS1 includes recreational parks and open spaces surrendered by private development schemes or government bodies for public use as open space managed or maintained by KLCH or other relevant entities for public usage. Activities or a building structure that supports open space activities, such as management office, food and beverage as well as facilities shall not exceed 30 percents from the total open space area that is permissible and subject to suitability and area of the plot without affecting the function of a particular open space. The provision of open spaces for public purposes must ensure accessibility for public use.
21. Public Open Space 2	OS2	Refers to the land use zone of an open space that serves various purposes, such as nature recreational activities, buffer zones, suitable roundabouts or traffic islands, linear green area, including development excess areas that are used as green areas , such as slopes and small land spaces in between developments, including those surrendered by private parties. OS2 can be managed or maintained by KLCH or other relevant entities.
22. Private Open Space	OS3	Refers to the land use zone of open space for recreational activities such as parks, playgrounds, recreation grounds, sports grounds, golf courses or cultural activities that are privately owned or privately managed , wherein the public has limited access except with authorisation of usage. Development for the purpose of socio-economic benefits (commercial or residential component) for part of the site is subject to suitability involving aspects of site size, location, environment and capacity of an area. The control is set to 2.5 percent (maximum) for golf course sites and 30 percent for OS3 sites for private ownership. However, OS3 sites are not allowed to be developed for socioeconomic benefits due to planning factors.

Table 2.6.1:

Classification and Definition of Types of Land Use Zone in Kuala Lumpur (continued)

Land Use Zone	Abbreviation	Definition
H. Open Space		
23. Forest Reserve	FR	Refers to the land use zone of a gazetted forest reserve and forested areas managed or maintained by the relevant public authority. Activities or structures such as gazebos, kiosks and ancillary facilities need to be designed with a suitable scale without affecting flora and fauna.
I. Infrastructure and Utilities		
24. Infrastructure and Utilities	IU	Refers to the land use and buildings intended for the provision of infrastructure and utilities such as water supply, energy supply (electricity, gas, cooling systems and others), sewerage, telecommunications, drainage (irrigations, rivers, lakes and detention or retention ponds), solid waste disposal and other related infrastructure and utilities.
J. Transportation		
25. Transportation	TR	Refers to the land use zone designated for the provision of transportation facilities including public transportation terminals, public transportation stations, Park and Ride facilities, parking facilities, transportation depots, road reserves, rail lines and other related facilities permissible to support the transportation infrastructure system and services.

Table 2.6.2:

Planning Control Layer, Public Open Space within Private Scheme (OS4)

Planning Control Layer	Abbreviation	Definition
Open Space		
*Public Open Space within Private Scheme	OS4	A multipurpose public open space located at ground level or a podium and accessible to the public. OS4 is only shown as a planning control layer in the land use zone map . OS4 is surrendered to KLCH through strata parcels or accessory parcels or specified through express conditions in the land title deed or determined through an undertaking agreement. The area of OS4 is not counted in the calculation of land use zones but is considered in the preparation of open space (land) requirements.

Note: **Public Open Space within Private Scheme (OS4)** is a planning control layer that is shown as a display only in the Land Use Zoning and Intensity Map (KLDGP2025)

Mixed development refers to development that permits more than one use or activity for a building or a group of buildings on a single plot or lot of developed land. The permissible uses or activities must be compatible with each other.

The KLLP2040 designates the Land Use Zone of Mixed Development (MX) as a land use zone that permits commercial components to support the residing element in a development.

Land Use Zone of Mixed Development (MX) in Kuala Lumpur stipulates development with 60 percent of residing elements. However, the drastic provision of residential components for small-sized lots and industrial areas zoned as Land Use Zones of Mixed Development (MX) is complicated after taking into account the aspects of feasibility, location suitability, social and current environments.

This designation also aims to redevelop old and dilapidated areas to become more vibrant. It also facilitates the transformation of existing industrial areas to mixed development through the provision of commercial elements at industrial areas that are eventually completed with residing elements.

The KLLP2040 determines development in the Land Use Zone of Mixed Development (MX) as follows:

1. Development of not less than 60 percent of the total floor area as residing elements such as residential units, quarters and service apartments. However, hotel activities are not included as residing elements; and
2. Development of not exceeding 40 percent of the total floor area for commercial elements such as offices, financial institutions, hotels and shopping centres.

However, KLLP2040 also provides flexibility in setting the percentage of residing floor area for the Land Use Zone of Mixed Development (MX) through a special provision proposed as an implementation option. Nevertheless, for areas that were originally industrial and have undergone changes to the area, the special implementation provisions for the Land Use Zone of Mixed Development (MX) do not apply.



2-7.1 Special Implementation for Land Use Zone of Mixed Development (MX)

The implementation provisions for the Land Use Zone of Mixed Development (MX) are as follows:

1. Small-sized lots that are originally residential areas (less than 20,000 square feet) are exempted from providing residing elements subject to intensity control. Additionally, in order to avoid conflict with current activities, permissible commercial activities also need to be controlled. The control of commercial activities as shown in Table 2.7.1; or
2. Large-sized lots (over 20,000 square feet) are exempted from providing residing elements subject to not exceeding 40 percent of the maximum total floor area, including adoption of incentives; or
3. Lots designated as Land Use Zone of Mixed Development (MX) in active industrial areas, an exemption of residing elements may be allowed up to 50 percent of the industrial area being developed with commercial elements. Once 50 percent of the total area has been developed, the next development must provide residing elements. This provision does not apply to items 1 and 2.

Table 2.7.1:

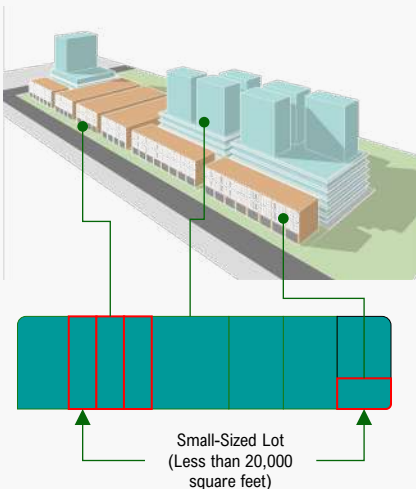
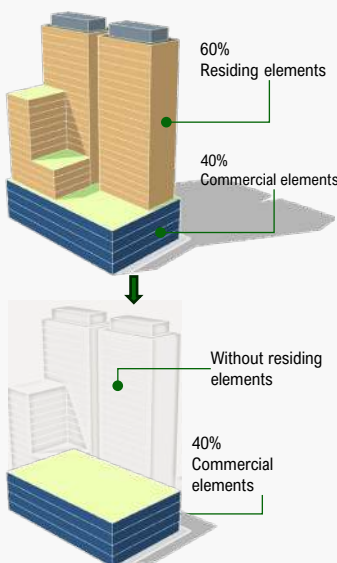
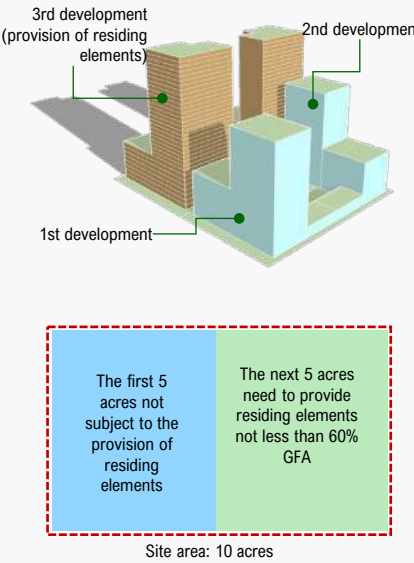
Control of Commercial Activities in Land Use Zones of Mixed Development (MX) for Lots Size Less Than 20,000 Square Feet

CULB2025
PERMISSIBLE
A1 – General Retail
A2 – Business
A3 – Office
A4 – Financial Institution
A7 – Health Services
A9 – Tourist Accommodation
A18 – Exhibition Centre
CONDITION
<ul style="list-style-type: none"> • Sale, display and storage of goods outside the building are not permissible. • Shall not cause of nuisance and traffic congestion to the surrounding area. • Limited only to accommodation (only applicable for Class A9 – Tourist Accommodation) • Event activities that generate traffic or visitors in high capacity are not encouraged (only applicable for Class A18 – Exhibition Centre)
NOT PERMISSIBLE
<ul style="list-style-type: none"> • Classes of A5, A6, A8, A10 up to A17, A19 and A20
OTHERS
Other categories of Main Land Use Class shall refer to General CULB2025.



BRIEF INFO

SPECIAL IMPLEMENTATION SCENARIO OF MIXED DEVELOPMENT LAND USE ZONE (MX)

Item 1	Item 2	Item 3
 <p>Small-Sized Lot (Less than 20,000 square feet)</p>	 <p>60% Residing elements 40% Commercial elements</p> <p>Without residing elements 40% Commercial elements</p>	 <p>3rd development (provision of residing elements) 2nd development 1st development</p> <p>The first 5 acres not subject to the provision of residing elements The next 5 acres need to provide residing elements not less than 60% GFA</p> <p>Site area: 10 acres</p>
<p>Small-Sized Lot: Lot size: Less than 20,000 square feet for areas originally designated as residential.</p>	<p>Large-Sized Lot: Lot size: Exceeding 20,000 square feet.</p>	<p>Applicable for areas originally designated as industrial.</p>
<p>Special Provision: Exemption from the provision of residing elements.</p>	<p>Special Provision: Exemption from the provision of residing elements is subject to a maximum use of 40 percent of total floor space.</p>	<p>Special Provision:</p> <ul style="list-style-type: none"> The first 50 percent of industrial area is eligible for exemption from the provision of residing elements (eligible to be developed with 100 percent commercial elements). The next 50 percent of industrial area must provide residing elements (subject to the application of the mixed development floor area ratio of 60:40).
<p>Height Control: Not exceeding 3 storeys or 4 levels for landed strata.</p> <p>Permissible commercial activities refer to Table 2.7.1.</p>	<p>Example of Calculation:</p> <p>Site area is 2 acres Plot Ratio including incentives is 1:6 Maximum 40 percent GFA utilisation (exemption of residing element)</p> <p>Calculation Steps</p> <p>Plot area x 43,560 square feet x Plot Ratio x 40% maximum GFA = 2 acres x 43,560 sqft x 6 x 40% = 209,088 square feet</p> <p>If the commercial GFA exceeds 40 percent of the total floor space, residing element must be provided.</p>	<p>Example of Implementation:</p> <p>Site area is 10 acres</p> <p>First Development Order = Area of 2 acres</p> <p>Second Development Order = Area of 3 acres</p> <p>Third Development Order = Area of 5 acres</p> <p>The First and Second Development Orders are not subject to the provision of residing elements.</p> <p>The Third Development Order is subject to the provision of residing elements.</p>

Note: The principles of determining special implementation for the Land Use Zones of Mixed Development (MX) do not apply to areas that were originally industrial and have undergone changes to the area.

BRIEF INFO

SPECIAL IMPLEMENTATION SCENARIO OF MIXED DEVELOPMENT LAND USE ZONE (MX)

The concept of integrated development promotes a more integrated form of development where activities such as living and working spaces are combined. This concept is important to ensure that both commercial activities and residential activities are planned by considering the needs of the main and supporting activities.

Integrated development refers to the combination of related retail or office or commercial or service or residential uses in the same building or site are as follows:

1. Vertical Mixed Use Development

One (1) single building structure in a designated plot of land with the upper floor used for residential activities or office use and part of the lower floor for retail or commercial or service use.

2. Horizontally Mixed Use Development (Connected)

A combination of two (2) or more building structures in a designated plot of land that provides retail or commercial or service use and connected (physically or accessibility) to residing activity or office use.

3. Horizontal Mixed Use Development (Separate)

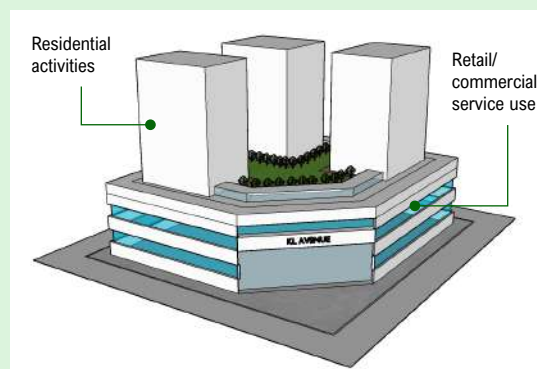
Two (2) or more building structures on a designated plot of land that provide retail, commercial or service uses and residing element physically separated.

The purposes of this zone are as follows:

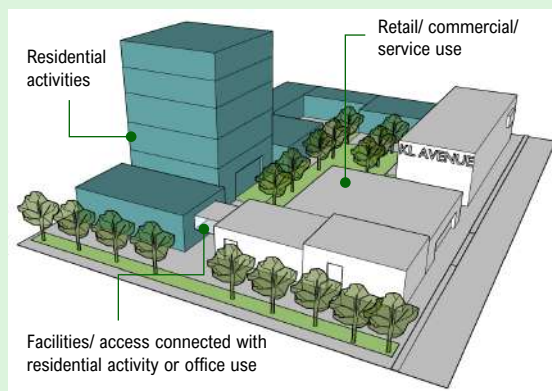
- To encourage shared use of residential activities with commercial and other appropriate activities to create an active street atmosphere, enhance the viability of business and reduce vehicular traffic;
- The elements of residential, commercial, non-residential uses and ancillary uses should be provided in such a way for it to be interdependent, integrated and complementary to each other;
- To encourage development intensification in identified transit planning zones;
- To provide suitable locations for high density residential use to be integrated with the overall mixed development; and
- To encourage compatible use of activities near each other. It is also important to ensure mixed development applications for large plots or adjacent plots to meet the planning objectives of zoning and urban design. This includes consideration for the distribution of commercial space in a mixed development between predominantly residential activities. Preferably, commercial floor space must be located fronting the main road and at ground level to encourage street activity and public surveillance.

Any development with an integrated development concept must comply with the land use zone and CULB2025 as well as meeting the needs of community facilities at the development site. In appropriate locations, KLCH can impose conditions for the provision of community facilities to meet the needs of residents and surrounding population such as public libraries and sports facilities. The provision of green areas and larger open spaces can be imposed for large-scale mixed plot development to accommodate the needs of local community.

Vertical Mixed Use Development



Horizontally Mixed Use Development (Connected)



Horizontal Mixed Use Development (Separate)



B1



3.0

DEVELOPMENT INTENSITY



The intensity of development can be defined as the capacity of land plot usage for a particular development. Determination of effective land plot capacity must be determined to ensure that the future development of Kuala Lumpur is controlled.

Control of development intensity for urban activities in Kuala Lumpur is important to achieve a sustainable built environment. Planning will be regulated to ensure the provision of community and infrastructure facilities are capable to support growth and development as well as protecting the environment. The permitted intensity is also subject to compliance with the planning guidelines and incentives set by KLCH.

A development that has been granted an approval of Development Order (DO) with an intensity exceeding DCP2 - Intensity Map before gazettement, then the approval is applicable as the permitted intensity for the site. This intensity should not serve as a basis for the purpose of granting incentives in the KLLP2040. Nevertheless, the approval must be in line with the land use zones as set out in DCP1 - Land Use Zoning Map. The intensity set in DCP2 - Intensity Map must be adhered to and is subject to any designated incentives for a development that has been granted after the gazettement of the KLLP2040.

However, the Mayor may grant planning permission with an appropriate intensity, subject to the approval of the Minister, if the Mayor deems that the development serves public interest. This provision applies to applications for planning permission involving the use of land and buildings that are not specified or not permissible under CULB2025.

The intensity of development in Kuala Lumpur will be controlled in two (2) forms as follows:

1. Plot ratio control for development of residential, commercial, mixed development, industrial, institutional, and community facilities; and
2. Height Control applies to commercial terrace buildings or any suitable free-standing commercial lots and landed residential (Land Use Zone of Residential Zone 1 (R1), Traditional Village (TV1), and Established Residential (EH)).

The determination of the intensity is subject to compliance with the overall technical requirements, policies and current guidelines set by KLCH. In circumstances where certain sites are not able to meet these requirements, a lower intensity should be considered at the planning permission stage. In addition, a development with a lower intensity than the designated in DCP2 - Intensity Map, by owner's intention is allowed.

However, the density-based control tool can be applied to three (3) aspects as follows:

1. Development that has been granted Development Order approval before the gazettement of KLLP2040;
2. Large-sized residential units (residences with an area exceeding 1,600 square feet with a household size of 4); and
3. The application of Affordable Housing Incentives and Redevelopment with affordable housing components is subject to the current applicable policies.

Note: Aspect 2 - Sites that have been approved using density intensity control tools for large average-sized units are not subject to plot ratio control. If amendments are made by reducing the unit size, the plot ratio setting is subject to the provisions in DCP 2-Intensity Map.

BRIEF INFO

DEVELOPMENT INTENSITY OF KLLP2040



Plot ratio control for development of residential, commercial, mixed development, industrial, institutional, and community facilities.



Height Control applies to commercial terrace buildings or any suitable free-standing commercial lots and landed residential (Land Use Zone of Residential Zone 1 (R1), Traditional Village (TV1), and Established Residential (EH)).

The determination of development intensity is an important basis in controlling the total floor area that directly affects the needs of community facilities, infrastructure and utilities, traffic generation, and road capacity. Development intensity is subject to the conditions of compliance with the outlined technical requirements.

The basic principles in determining the development intensity of KLDCP2025 are as follows:

1. Determination of the intensity is subject to site suitability factors (location, physical condition, accessibility, availability of community facilities, infrastructure, and utility as well as compatibility with the surrounding area);
2. Use of Base Plot Ratio and Height Control as intensity control tools in KLDCP2025;
3. Determination of commercial development intensity for the first layer land plot along the main road considers lot size suitability and improvement as well as road infrastructure capacity but excludes commercial terrace buildings as shown in Table 3.1.1. Nevertheless, the actual plot ratio setting for each plot along the main roads is as shown in DCP2 - Intensity Map;
4. Determination of height control for commercial terrace buildings creates a uniform skyline and controls the typology in accordance with capacity of the infrastructure provided;
5. Changes in demographic trends of population such as the increasing percentage of elderly, DINK (Double Income No Kids) or YUPPIES (Young Urban Professionals) in Kuala Lumpur as well as purchasing power which affect the demand and supply of small-sized housing including affordable housing;
6. Height control of low-intensity landed development which involve Land Use Zones of Residential 1 (R1), Traditional Village 1 (TV1), and Established Residential (EH);
7. Determination of Intensity Control of Layout Plan is defined as single (1) overall development plot is marked by single (1) plot ratio or single (1) height control only;
8. Replanning the basic plot ratio of the petrol station with the surrounding development;
9. Requirement to provide detailed guidelines for low-intensity residential in sloped areas with height control of three (3) storeys based on the height of each cluster as viewed from all directions;
10. If the landowner intends to use the Development Order (DO) approval based on density of Person Per Acre (ppa) with higher floor area than the designated plot ratio in KLLP2040, the intensity control for the plot is still based on density. However, if the owner intends to use intensity control based on plot ratio, it must comply with the designated plot ratio as well as incentives allowed under the KLLP2040;
11. The actual intensity can only be determined after complying with the relevant detailed impact assessment and subject to adherence to technical requirements, policies (especially redevelopment policies) and current guidelines set by KLCH; and
12. Proposed site amendments that have been zoned as R4 may be considered for exemption from providing the Affordable Housing (RMM) component. The determination of intensity needs to be aligned (reduced) with the intensity of the bordering lots and may be considered with the provision of Affordable Housing Incentives (RMM) if applicable. This determination does not require a local plan amendment process.

Any development or existing land plot approved before the gazettment of KLLP2040 that exceeds the basic plot ratio of the KLLP2040 will be considered as the plot ratio set for that land plot. However, sites that have been approved with a higher plot ratio exceeding the KLLP2040 took into account additional development commitments of the development at that time, such as infrastructure improvements, the

provision of Affordable Housing or the contribution of community facilities outside the development site and other aspects of consideration during approval given. Nevertheless, this practice will no longer be continued in line with the preparation of the KLLP2040, which incorporates the best planning practices.

Table 3.1.1: Determination of Commercial Land Use Intensity in Specific Locations

Plot Ratio	Location		
Plot Ratio 1:8	1. Jalan Tun Razak		
Plot Ratio 1:6	1. Jalan Klang Lama 2. Jalan Ampang		
Plot Ratio 1:5	1. Jalan Cheras		
Plot Ratio 1:4	1. Jalan Puchong 2. Jalan Kepong 3. Jalan Ipoh	4. Jalan Syed Putra 5. Jalan Kuchai Lama 6. Jalan Gombak	7. Jalan Pahang 8. Jalan Genting Klang

Note: The determination of this intensity principle is in general, different intensities are subject to planning suitability by considering location, physical conditions, accessibility, availability of community facilities, infrastructure, and utilities as well as compatibility with the surrounding area.



The plot ratio refers to the relationship between an area of the site and the total floor area of the building on the site. Plot ratio control considers the floor area requirement limits imposed for land use zones of residential, commercial, mixed development, industrial, institutional, and public facilities.

The need to determine the plot ratio for land development in Kuala Lumpur is as follows:

1. To establish balanced control between one development and another;
2. To ensure flexibility in development to achieve comprehensive development;
3. To determine the intensity of sustainable development that can prevent the negative effects of excessive development;
4. To create function and character that is required in Kuala Lumpur Commercial Zones;
5. To encourage the generation of optimum activities to support city services such as public transport, community facilities and others;
6. To ensure the overall objective of the built environment and green urban design in Kuala Lumpur is achieved;
7. To meet the trend of small sized family, where the current household size is 3.5 and estimated to be 3.0 by 2040;
8. To meet the increasing trend of population in Kuala Lumpur, which is DINK, YUPPIES and elderly, which shows a change in the demand for smaller residential sizes; and
9. To increase development viability whereby the plot ratio method allows more housing units to be built, especially if the unit sizes are smaller compared to the density method on the same site.

3-2.1 Plot Ratio Definition

Plot ratio means the ratio between total floor area of a building and the area of the building plot as defined in Section 2 of the Federal Territory (Planning) Act 1982 (Act 267).

Intensity in KLDCP2025 is governed by the ratio of the base plot as set to the plot of land or lot for development. An increase in intensity may be considered subject to the incentives given but shall not exceed the appropriate percentage of the basic plot ratio except for incentives for lot amalgamation and affordable housing development.

3-2.2 Use of Plot Ratio

The use of plot ratio as a planning control measure for land use zones as outlined in Table 3.2.1 and the absolute determination of use is obtained only after a Development Order (DO) is granted.

This planning control applies to new development proposals and existing developments that involve the addition of a building proposal or an increase in floor area. Any development or existing land plot that has been approved with a plot ratio exceeding the allowable basic plot ratio is considered as the maximum plot ratio applicable to that land. However, this approved plot ratio shall not be considered as a basic plot ratio for the purpose of granting incentives in the KLLP2040. If the base plot ratio, along with the incentive, exceeds the approved plot ratio, the plot is eligible for consideration with the maximum plot ratio set.

3-2.3 Determination of Plot Ratio

The determination of plot ratio is related to the land use strategy identified in the KLLP2040. The land use strategy of KLLP2040 promotes sustainable and optimal land use to support the role and vision of Kuala Lumpur as a City For All.

Plot ratio control should consider the following aspects as follows:

1. An increase in plot ratio is allowed above the basic plot ratio subject to incentives allocated based on Section 3 of the Federal Territory (Planning) Act, 1982 (Act 267) which is set during consideration of the Development Order (DO) approval. However, the determination of an additional plot ratio at a suitable minimum rate can be considered at the planning control level, subject to design factors that do not involve material changes; and
2. Development plots that use the approved Layout Plan Plot Ratio can be redistributed subject to the principles outlined in the approved Layout Plan Plot Ratio.

Table 3.2.1:**Plot Ratio Control According to Land Use Zone**

Land Use Zone	Abbreviation	Basic Plot Ratio
City Centre Commercial	CCC	Up to 1:10
Major Commercial	MC	Up to 1:8
Commercial	C	Up to 1:8
Local Commercial	LC	Up to 1:2
Mixed Development	MX	Up to 1:8
Industrial	IP	Up to 1:4
Mixed Industry	MXI	Up to 1:4
Technology Park	TP	Up to 1:3
Residential 2	R2	Up to 1:2.5
Residential 3	R3	Up to 1:4
Residential 4	R4	Up to 1:6
Traditional Village 2	TV2	Up to 1:2
Institution	INT	Up to 1:4
Public Facilities	PF1	Up to 1:2
Private Facilities	PF2	Up to 1:2

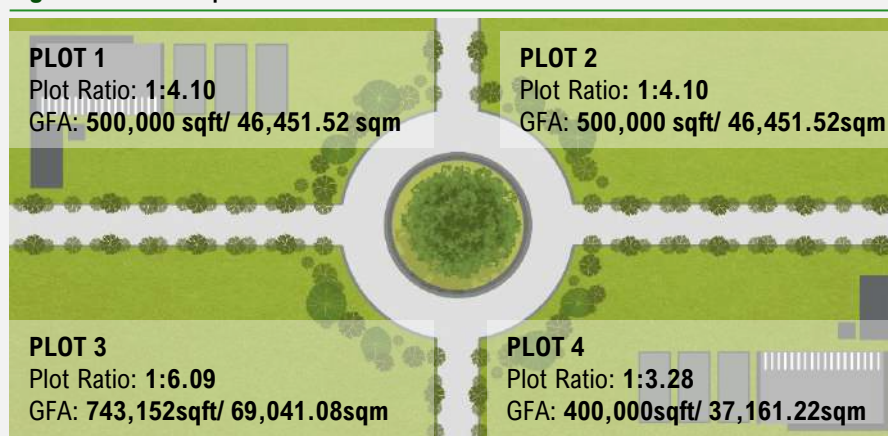
Note:

1. Plot ratio does not apply to the Land Use Zone of Residential 1 (R1), Established Residential (EH), Traditional Village 1 (TV1), Open Space (OS1 to OS3), Cemetery and Mortuary Management (CE), Transportation (TR), as well as Infrastructure and Utilities (IU). However, for the Land Use Zone of Cemetery and Mortuary Management (CE), Transportation (TR) and Infrastructure and Utilities (IU), development intensity is permissible if developed with building structures that are intended to support the particular land use zone or in accordance with CULB2025 and are compatible with surrounding development;
2. The intensity determined for a Plot Ratio of 1:2 applies to all land use zones for Public Facilities (PF1) and Private Facilities (PF2). However, this intensity determination is still subject to compliance with technical planning requirements and harmony with surrounding developments.
3. Determination of the actual plot ratio according to each plot should refer to DCP2 – Intensity Map;
4. Refer to Classes of Use of Land and Buildings 2025 (CULB2025) for Open Space Land Use Zone (OS1 to OS3) for development of permissible building structure;
5. Height Control applies to commercial terrace buildings or any suitable free-standing commercial lots and landed residences (Residential Zone 1 (R1), Traditional Village (TV1) and Established Residential (EH)); and
6. Intensity control of the Layout Plan based on Plot Ratio applies to the Land Use Zone of Technology Park (TP) and other plots that have been designated in the KLLP2040.

CALCULATION OF PLOT RATIO FOR SUB-DIVIDED PLOT

1. Refer to DCP2 - Intensity Map for plot ratio allowed on each plot of land for residential, commercial, mixed development, industrial, institutional and community facilities buildings;
2. The total floor area (gross floor area, GFA) allowable for development on a plot of land is according to plot ratio allowed for that land or plot as set out in DCP2 - Intensity Map;
3. The allowable GFA based on the plot ratio can be distributed to the entire plot of land or to the sub-divided plots of land;
4. After obtaining approval for Development Order (DO), the plot of land that has been granted approval of a Development Order (DO) sets out the maximum amount of floor area allowed for building on the plot. The building plan application must comply with the maximum floor area allowed as approved by the Development Order (DO).

Figure 3.2.1: Example of Sub-division for Lot 3839

**Calculation Step 1:****Calculation of overall GFA for Plot**

The designated Land Use Zone is **Mixed Development (MX)**

The total plot site area is **12.3 acres**

The plot ratio allowed is **1:4**

Total Overall GFA

$$\begin{aligned}
 &= \text{Plot Area} \times \text{Plot Ratio} \times 43,560 \text{ square feet} \\
 &= 12.3 \text{ acres} \times 4 \times 43,560 \text{ square feet} \\
 &= 2,143,152 \text{ square feet}
 \end{aligned}$$

Calculation Step 2:**Calculation of GFA and Plot Ratio according to the Sub-divided Plot**

The planning permission application for Lot 3839 has been approved for four (4) new plots of land with maximum floor area allowed as stipulated. The details of the Land Use Zone of Mixed Development (MX) plot that has been subdivided are as follows:

Plot	Land Area (Acres)	Land Area (Square Feet)	Gross Floor Area (GFA) (Square Feet)	Gross Floor Area (GFA) (Square Metres)	Plot Ratio
Plot 1	2.8	121,968.00	500,000.00	46,451.52	4.10
Plot 2	2.8	121,968.00	500,000.00	46,451.52	4.10
Plot 3	2.8	121,968.00	743,152.00	69,041.08	6.09
Plot 4	2.8	121,968.00	400,000.00	37,161.22	3.28
Road reserve and Open Space	1.1	47,916.00	-	-	-
TOTAL	12.3	535,788.00	2,143,152.00	199,105.34	4.00

Note: The determination of the GFA calculation components is subject to application at the guideline level.

Building height control is a method of intensity control that determines the appropriate building height limit for commercial terrace buildings or any suitable free-standing commercial lots and landed residences (Land Use Zone of Residential Zone 1 (R1), Traditional Village (TV1), and Established Residential (EH)).

3-3.1 Height Control for Commercial Terrace Buildings

The height control of commercial terrace buildings involves the Land Use Zone of City Centre Commercial (CCC), Major Commercial (MC), Commercial (C), and Local Commercial (LC).

Designated height control of commercial terrace buildings aims to coordinate the height of commercial terrace buildings or any suitable free-standing commercial lot according to the dominant height, the heritage area characteristics, and compatibility with the provided infrastructure capacity. Shophouses located on the corner lots or end lots in the commercial terrace buildings may be allowed under the corner treatment concept, where the height of the buildings in these lots may exceed the height of the shophouses building on the middle lots subject to the suitability of the building façade.

Figure 3.3.2 shows the intensity map for height control of commercial terrace buildings for each land use zone and Table 3.3.1 shows the building height control for commercial terraces buildings.

Table 3.3.1: Height Control for Commercial Terrace Buildings

Land Use Zone	Building Height
City Centre Commercial (CCC)	<ol style="list-style-type: none"> 1. Building height up to 14 storeys; 2. Building height up to 7 storeys for Secondary Heritage Zone areas; 3. Building height up to 7 storeys for shophouses buildings, infill sites and lot redevelopment; and 4. Building height up to 7 storeys for heritage areas with the preservation of special character in terms of identity and lots on Jalan Doraisamy and Jalan Kamunting.
Major Commercial (MC)	<ol style="list-style-type: none"> 1. Building height up to 14 storeys in the City Centre; 2. Building heights up to 10 storeys for Special Character Zones area on Jalan Tuanku Abdul Rahman, Jalan Masjid India, Lorong Haji Taib, Jalan Chow Kit and Lorong Bunus; 3. Building height up to 8 storeys outside the City Centre; 4. Building height up to 7 storeys for Secondary Heritage Zone; 5. Building height up to 7 storeys for Special Character Zones area on Jalan Pudu Lama; 6. Building height up to 7 storeys for shophouses buildings, infill sites and redevelopment of lots in the heritage zone area on Jalan Tun Sambanthan, Jalan Sultan Abdul Samad, Jalan Thambipillay and Jalan Vivekananda; 7. Building height up to 3 storeys is limited to the front building area of SOGO Complex, Jalan Tuanku Abdul Rahman (Lot 22-36, Lot 190-191, Lot 20000-20002); and 8. Building height up to 3 storeys for the area along Jalan Tuanku Abdul Rahman (including the row of Dunhill shops) and the Old Gian Singh building on Jalan Tun Perak.
Commercial (C)	<ol style="list-style-type: none"> 1. Building height up to 10 storeys for Lot 25-29 and Lot 33-39 on Jalan Bukit Candan Off Jalan Ipoh; 2. Building height up to 6 storeys and necessity of maintaining the original façade of the building if it involves an old building of heritage significance; 3. Building height of up to 3 storeys is limited to building areas on Jalan Suasa, Jalan Suasa 3, 4 and 5, Pekan Sungai Besi; and 4. Building height outside the city centre between 2 and 6 storeys (except Lot 25-29 and Lot 33-39 on Jalan Bukit Candan Off Jalan Ipoh).
Local Commercial (LC)	<ol style="list-style-type: none"> 1. Building height up to 4 storeys.

Note: The height of the commercial terrace that has been approved is applicable to the particular lot only.

3-3.2 Height Control for Residential

The height control for residential applies to landed residences, namely Land Use Zone of Residential 1 (R1), Traditional Village 1 (TV1), and Established Residential (EH). It is intended to maintain the current typology considering the limited availability of infrastructure, utilities and community facilities. Figure 3.3.2 and Table 3.3.2 show the residential height control for each land use zone.

Table 3.3.2: Residential Height Control

Land Use Zone	Building Height
Residential 1 (R1)	The height of the buildings is up to 3 storeys including landed strata with height control of 4 levels and the typology of the building is maintained.
Traditional Village 1 (TV1)	The height of the buildings is up to 3 storeys with a design characteristic of traditional Malay houses.
Established Residential (EH)	The height of the buildings is up to 3 storeys including landed strata with height control of 4 levels as well as no significant change in terms of character, façade and is expected to remain until 2040. Redevelopment or new development needs to ensure harmony of character with adjoining lots.

BRIEF INFO

CORNER TREATMENT CONCEPT



Shophouses located on the corner lots or end lots of the commercial terrace may be allowed under the corner treatment concept, where the height of the buildings may exceed the height of the shophouses building on the middle lots, subject to the suitability of the building façade.

3-3.3 Determination of Household Size

The determination of occupancy rate enables the calculation of community facility needs with appropriate space that must be provided in line with the number of residents from the development of the site.

The current household size is 3.5 and it is estimated to be 3.0 by 2040. The use of only one occupancy rate limits the use of flexible unit sizes that can be offered at suitable prices according to population demographic needs in the future.

This determination of unit size and household size is applicable to all residing components referring to residential units, quarters, service apartments and commercial properties that are subject to the guidelines for the provision of community facilities and open spaces.

Occupancy rate based on the minimum residing unit is categorised as shown in Table 3.3.3.

Table 3.3.3:
Control of Residing Unit Size and Household Size

Residing Unit Size	Occupancy Rate/ Household Size
1. Unit size <450 square feet	1.0
2. 451 square feet up to 799 square feet	2.0
3. 800 square feet up to 1,599 square feet	3.0
4. Unit size over 1,600 square feet	4.0
5. Affordable homes, PPR/PA and landed residences	4.0

Notes: The determination of percentage of size of small units, especially residences, is subject to guidelines determined at the planning permission stage.

BRIEF INFO

DETERMINATION OF RESIDING UNIT SIZE

For planning control purposes, the minimum size of residential unit components is subject to guidelines except for special residential houses such as Subsidised Rental Public Housing (PASS), Public Housing (PA) and Program Perumahan Rakyat (PPR).

Minimum residential unit size of not less than 450 square feet is allowed for DINK, YUPPIES and senior citizens. Percentage of minimum residing unit is determined at the planning control level.

Note: The control of small residential unit sizes is for free market housing.

3-3.4 Planning of Large-sized Residential Units

Demand for the provision of large-sized residential units in Kuala Lumpur must be catered to balance the demand and in line with current trends for large residential units in certain areas of Kuala Lumpur by 2040.

A large-sized residential unit is defined as a residence with a floor space of more than 1,600 square feet for a household of 4. The designation of this large-sized residential unit is an additional control that aims to control the widespread of development of large-sized units in Kuala Lumpur.

The planning control for these large size residential units is applicable for the period of the KLLP2040. It involves the Person Per Acre (ppa) intensity control and applies only to the development of large-sized residential units. In the case of development of various sizes of residential units, the plot intensity ratio is applicable.

The planning of large-sized residential units is determined by the development trend of large-sized residential units and coordination with existing approvals. Five (5) locations that have the potential to offer large-sized residential units are:

1. Mont Kiara;
2. Jalan Robson;
3. Jalan U-Thant;
4. Bukit Pantai; and
5. Bukit Bangsar.

This designation also applies to appropriate areas subject to the approval of the Mayor. The KLLP2040 sets the comparison factor for changing the density to plot ratio based on the average size of residential developments in Kuala Lumpur. The calculation for setting ppa intensity for large-sized residential units apply the comparison factor that has been set.

BRIEF INFO

INTENSITY PERSON PER ACRE (PPA) FOR LARGE RESIDENTIAL UNITS

Plot Ratio	ppa
1:2	Maximum 222
1:2.5	Maximum 277
1:3	Maximum 333
1:3.5	Maximum 388
1:4	Maximum 444

Note: The determination of ppa intensity is still subject to the carrying capacity of an area and the harmony of design with the surrounding development.

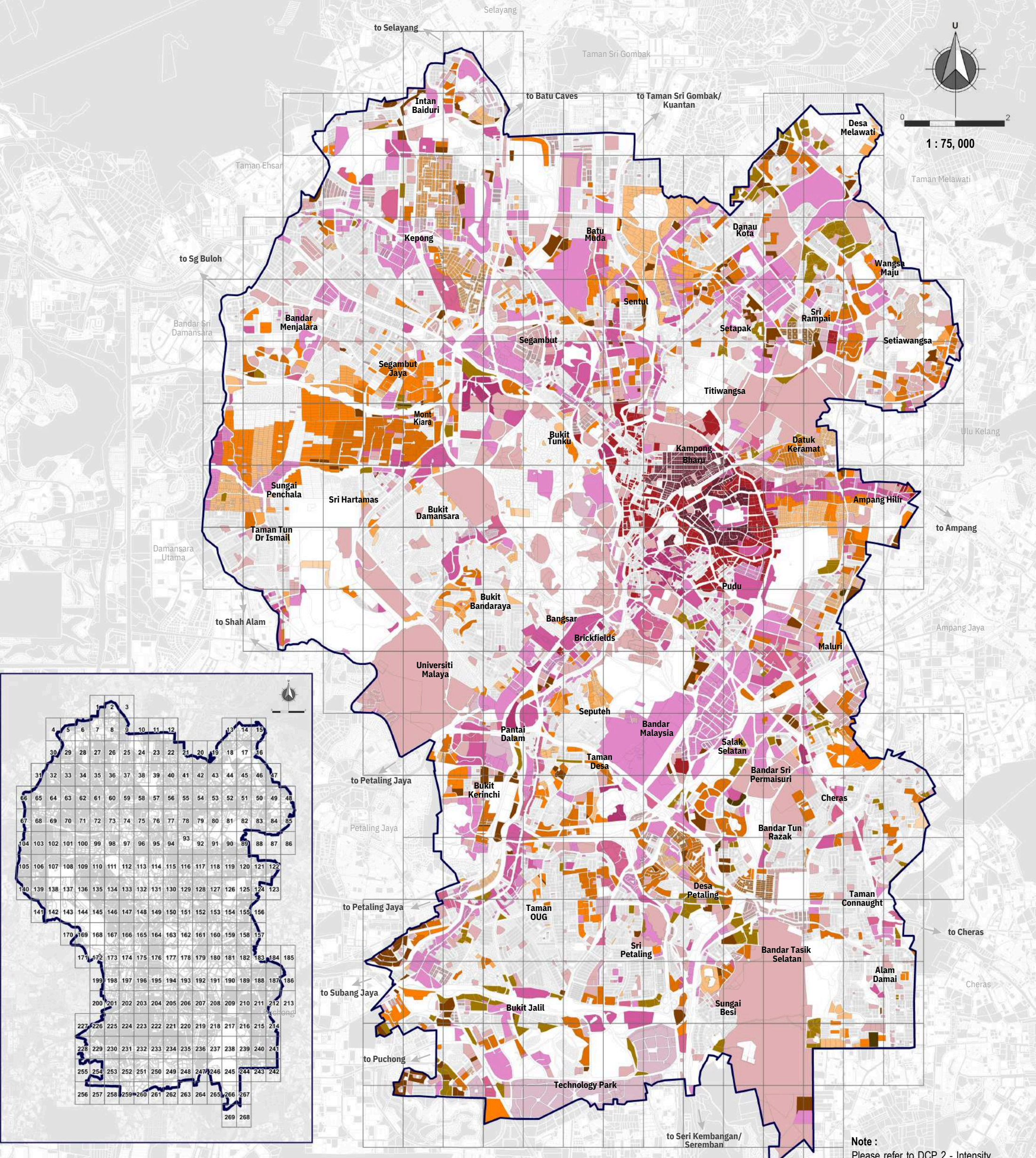


FIGURE 3.3.1 | KLLP2040 Intensity Map

Legend:

Residential Plot Ratio

- PR 1:0.5
- PR 1:1.5
- PR 1:2
- PR 1:2.5
- PR 1:3
- PR 1:3.5
- PR 1:4
- PR 1:5
- PR 1:6

Non-Residential Plot Ratio

- PR 1:2
- PR 1:3
- PR 1:4
- PR 1:5
- PR 1:6
- PR 1:7
- PR 1:8
- PR 1:10

Others

- No Intensity
- Road
- Kuala Lumpur Boundary

Note :
Please refer to DCP 2 - Intensity Map for details of the site



Location: Kuala Lumpur
Source: <https://www.shutterstock.com/g/Creativity+lover>
View of Kuala Lumpur.

B1



4.0

PLANNING CONTROL LAYER



4.0

PLANNING CONTROL LAYER

KUALA LUMPUR LOCAL PLAN 2040

The planning control layer is an additional control imposed on DCP1 - Land Use Zoning Map and DCP2 - Intensity Map of KLDCP2025. These additional controls include land planning, intensity, and building design.

The KLLP2040 identifies seven (7) layers of planning control for the areas involved in Kuala Lumpur namely:

1. Planning Control Layer for Intensity Control of Layout Plan;
2. Planning Control Layer for River, Lake and Pond Side Corridors;
3. Planning Control Layer for Heritage Areas or Buildings;
4. Planning Control Layer for the Height Control Zone Surrounding The Istana Negara;
5. Planning Control Layer for Line of Sight Towards Iconic Landmarks;
6. Planning Control Layer for Public Open Space in Private Schemes (OS4); and
7. Planning Control Layer for Affordable Housing (RMM).

The planning and use of land as well as buildings involved in the seven (7) planning control layers must refer to and comply with the controls related to each of the designated planning control layers.



BRIEF INFO

7 PLANNING CONTROL LAYERS

Planning Control Layer for Intensity Control of Layout Plan

Control over an area that has been granted approval for plot ratio and height control based on the development scheme.



Planning Control Layer for River, Lake and Pond Side Corridors

Control of all new developments and redevelopment located adjacent to rivers, lakes and ponds.



Planning Control Layer for Heritage Areas or Buildings

Controls on sites and buildings to conserve and maintain the special character in the Kuala Lumpur Heritage Zone.



Planning Control Layer for the Height Control Zone Surrounding The Istana Negara

Controls to preserve vistas from and leading to the Istana Negara.



Planning Control Layer for Line of Sight Towards Iconic Landmarks

Additional controls over the height, orientation and design of new buildings located within visual control zone of the lines of sight to identified iconic landmarks in Kuala Lumpur.



Planning Control Layer for Public Open Space in Private Schemes (OS4)

Controls for public open space of multiple uses on ground or podium level accessible to the public and not only specific to the local community.



Planning Control Layer for Affordable Housing (RMM)

Control for sites that have been committed to or have received the approval of a residential development order and that have free and affordable prices.



Planning Control Layer for Intensity Control of Layout Plan is a control over an area that has been granted plot ratio and height approval based on the development scheme. The Intensity Control of Layout Plan is shown as a single development plot marked with only one plot ratio or height control. Plot ratio and height according to the development plot should refer to the approved layout plan.

The demarcation of Intensity Control for Layout Plans focuses on the indication of the main land use zones of the related site, Community Facilities (PF1 and PF2 land use zones) and Open Spaces (OS1, OS2, and OS3 land use zones). However, if there are amendments to the layout plan, there is a need to maintain the size of open spaces or community facilities as previously approved in the same layout plan development scheme.

Infrastructure and utility sites are not demarcated except for detention ponds and retention ponds, including drainage components for the Planning Control Layer for Intensity Control of Layout Plan. Additionally, the setting focuses on approved sites based on layout and those that have received Pre-computation Plan approval or are under construction.

4-1.1 Objectives of Planning Control Layer for Intensity Control of Layout Plan

The use of Intensity Control of Layout Plan aims to control the maximum floor space approved within the distribution of development plots subject to the approved layout plan or the specified height control. In addition, it facilitates the implementation of a long-term development due to certain changes based on market needs, demand and government policies without involving changes to the KLLP2040.

4-1.2 Planning Control Aspects for Intensity Control of Layout Plan

This planning control considers four (4) main aspects which are as follows:

1. Concept of planning control for Intensity Control of Layout Plan;
2. Site of planning control layer for Intensity Control of Layout Plan;
3. Planning control for Intensity Control of Layout Plan; and
4. Calculation method for Intensity Control of Layout Plan.

These aspects aim to ensure comprehensive and sustainable planning control can be implemented by 2040. The details of Planning Control for Intensity Control of Layout Plan Plot Ratio are as follows:

1. Planning Control Concepts for Intensity Control of Layout Plan

This planning control concept applies to new proposed and existing development in areas involving intensity control of layout plan. The determination of the plot ratio or height control according to the development plot is subject to the approved plot ratio or height control for the overall layout plan.

The development plots may have different plot ratio provided that the overall gross floor area is subject to the approval of the planning permission application.

The designated plot ratio or height control is related to the land use strategy identified in the KLLP2040. The land use strategy promotes sustainable land use is to ensure the optimal land development will be encouraged to support the vision of a City For All.

2. Planning Control Layer Sites for Intensity Control of Layout Plan

The KLLP2040 has identified 25 control layer areas for planning control layer for Intensity Control of Layout Plan as shown in Table 4.1.1.

Table 4.1.1:**List of Sites for Intensity Control of Layout Plan or Height Control**

Project/ Location	Proposed Land Use Zone	Base Plot Ratio	Area (Hectares)
1. Cadangan Pelan Susun Atur Pembangunan Bercampur di Atas Lot PT26934, Jalan Kepong/ Jalan Sibu Off Jalan Kuching	MX	1:4	32.60
2. Pelan Susun Atur Perancangan Kawasan Sentul Raya, Seksyen 83, Mukim Kuala Lumpur	MX	1:6	60.54
3. Pelan Susun Atur Pembangunan Perumahan Berstrata Berserta Rumah Kelab di atas Lot 26413 Mukim Setapak dan Lot 3538 Mukim Ulu Kelang	R2	1:0.5	54.26
4. Pelan Susun Atur Pangsapuri, Rumah Mampu Milik dan Lot Perniagaan, Mukim Ulu Kelang	R3	1:2.5	13.69
5. Pelan Susun Atur Pembangunan Bercampur di Jalan Ayer Keroh, Mukim Setapak	MX	1:4	10.63
6. Pelan Susun Atur Pembangunan Bercampur di Atas Lot 17899, Jalan Ayer Jerneh, Mukim Setapak	MX	1:4	11.24
7. Cadangan Pembangunan Bercampur Perdagangan dan Kediaman di Atas Lot 9714 di Sebahagian Atas Tanah Kerajaan, Mukim Batu	MX	1:5	35.13
8. Pelan Susun Atur Pembangunan Perdagangan, Mukim Batu, Bandaraya Kuala Lumpur, Wilayah Persekutuan Kuala Lumpur	MX	1:7	30.32
9. Pelan Susun Atur Pembangunan Perdagangan, Jalan Sri Hartamas 1, Mukim Batu	MC	1:6	21.60
10. Pelan Susun Atur Pembangunan Perdagangan Kuala Lumpur City Centre (KLCC), Bandar Kuala Lumpur	CCC	1:6	43.58
11. Pelan Susun Atur Pembangunan Bercampur " <i>Tun Razak Exchange</i> " di Jalan Tun Razak/ Jalan Davis	CCC	1:6	28.61
12. Pelan Susun Atur Pembangunan Bercampur di Atas Lot PT 143 Seksyen 56, Jalan Hang Tuah/ Jalan Pudu, Kuala Lumpur	MX	1:6	7.87
13. Pelan Susun Atur Pembangunan Bercampur, Mukim Bandar (PNB)	MC	1:5	16.32
14. KL Sentral	CCC	1:6	31.00
15. Pelan Susun Atur Pembangunan Bercampur, Bangsar South, Jalan Kerinchi, Kuala Lumpur	MX	1:6	24.67
16. Pelan Susun Atur Pembangunan Bercampur, Jalan Pantai Sentral, Mukim Kuala Lumpur	MX	1:4	54.84
17. Pelan Susun Atur Pembangunan Bercampur, Mukim dan Daerah Kuala Lumpur	MX	1:4	57.41
18. Pelan Susun Atur Pembangunan Kediaman, Persiaran Damai, Mukim Petaling	R3	1:4	19.29
19. Taman Teknologi Malaysia (<i>Malaysian Research Accelerator for Technology & Innovation</i> - MRANTI)	TP	1:3	259.20
20. Pelan Susun Atur Pembangunan Kediaman Villa Berstrata dan Rumah Sesebuah, Mukim Kuala Lumpur	R2	3 Storeys	15.20
21. Pelan Susun Atur Pembangunan Bercampur, Mukim Batu	MX	1:6	29.41
22. Pelan Susun Atur Pembangunan Bercampur di Atas Lot 80782, Mukim Batu	MX	1:6	5.90
23. Pelan Susun Atur Pembangunan Bercampur di Jalan Merah Cagar, Bukit Jalil, Mukim Petaling	MX	1:6	31.78
24. Pelan Susun Atur Pembangunan Perdagangan dan Kediaman, Seksyen 87A, Daerah Kuala Lumpur	MX	1:5	8.05
25. Kampong Bharu	CCC	1:10	106.00

Note: Site boundaries and area are based on the approved layout plan. Calculations are rounded to two decimal points.

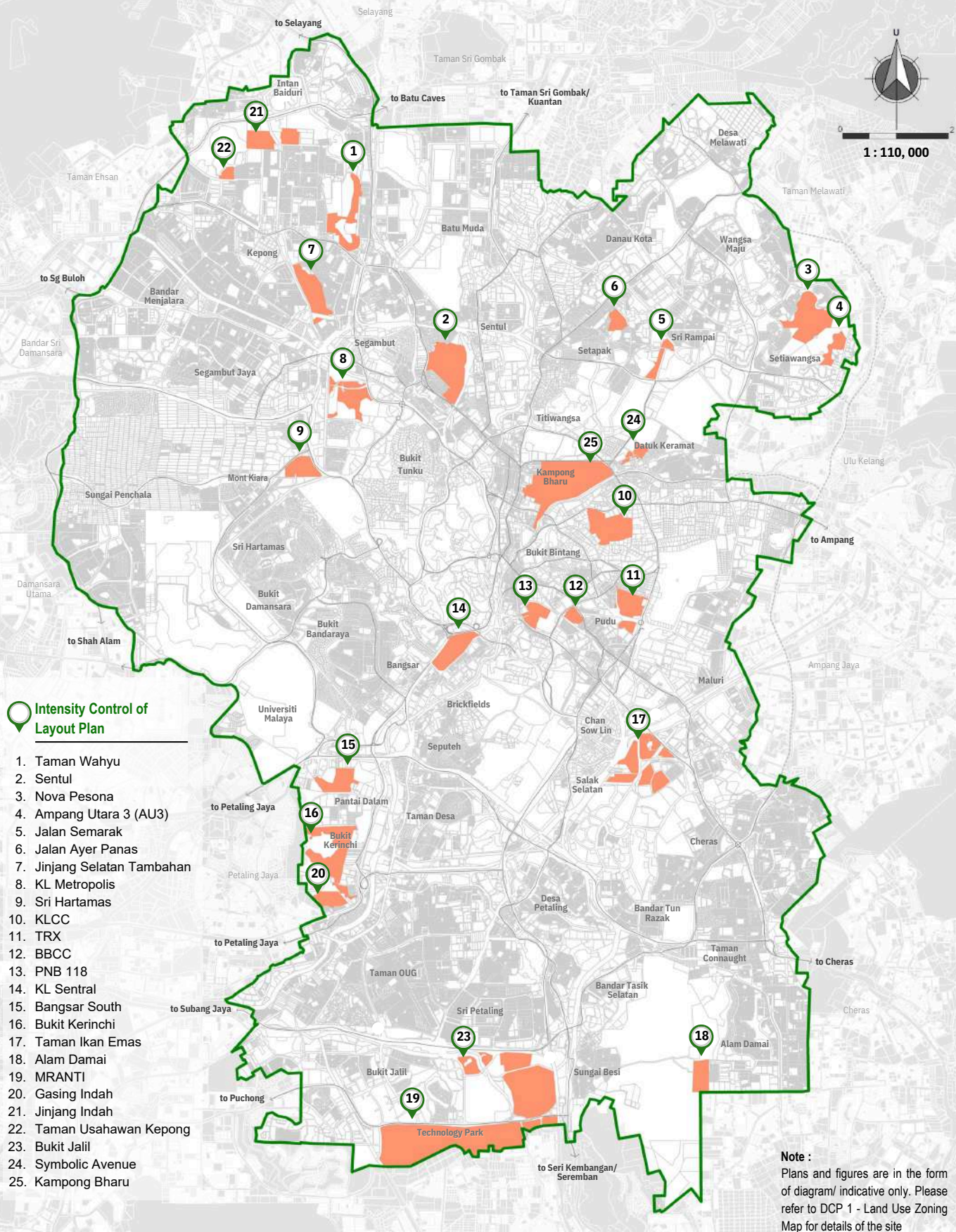


FIGURE 4.1.1 | Location Plan of Areas for Intensity Control of Layout Plan

Legend :

Intensity Control of Layout Plan

- Site of Intensity Control of Layout Plan

Others

- Main Road
- Kuala Lumpur Boundary

3. Planning Control for Intensity Control of Layout Plan

In line with Planning Controls for Intensity Control of Layout Plan, all identified sites are encouraged to be developed based on the following controls:

01

APPLICATION FOR PLOT RATIO

- a. The layout plan plot ratio set out in the DCP2 - Intensity Map is the basic plot ratio given and does not include planning. However, planning incentives are only applicable to the plots involved;
- b. Incentives will be considered and applied when the layout plan is approved subject to the planning evaluation during the planning application stage;
- c. Plots that have been approved with the allowable plot ratio, development is subject to the designated distribution;
- d. Amendments to distribution by plot may still be allowed subject to approval as long as the plot ratio distribution does not exceed the maximum approved plot ratio;
- e. The floor area of the proposed plot must not exceed the total floor area of the approved plot ratio for the entire development;
- f. Plot ratio that has been set according to development plots cannot be transferred to other undeveloped plots if the development plot has been sold, transferred or completed to a third party except with the consent of new owners for the intensity that has not yet been used;
- g. Plots that has been sold to new owners or a third parties, an increase in intensity beyond the designated plot ratio must have the permission from the owner of the overall layout plan and is subject to excess intensity from undeveloped plots; and
- h. Any changes to the redistribution of intensity by plot are subject to review at the planning permission stage.

02

APPLICATION FOR HEIGHT CONTROL

- a. Plots that have been approved with permitted height control, development is subject to the prescribed height control; and
- b. The provision of incentives is not applicable to layout plans approved with height control.



4. Calculation Method for Intensity Control of Layout Plan

The calculation of the Plot Ratio for Intensity Control of Layout Plan aims to determine the maximum total floor area for the entire development plot and the maximum floor area distribution according to the development plots. The calculation method, which refers to the Layout Plan Plot Ratio, is detailed by using an example of a Layout Plan Plot Ratio Calculation for the Land Use Zone of Mixed Development (MX).

BRIEF INFO

CALCULATION OF INTENSITY CONTROL FOR LAYOUT PLAN PLOT RATIO

Step 1: Distribution of Plot Ratio according to KLDCP2025

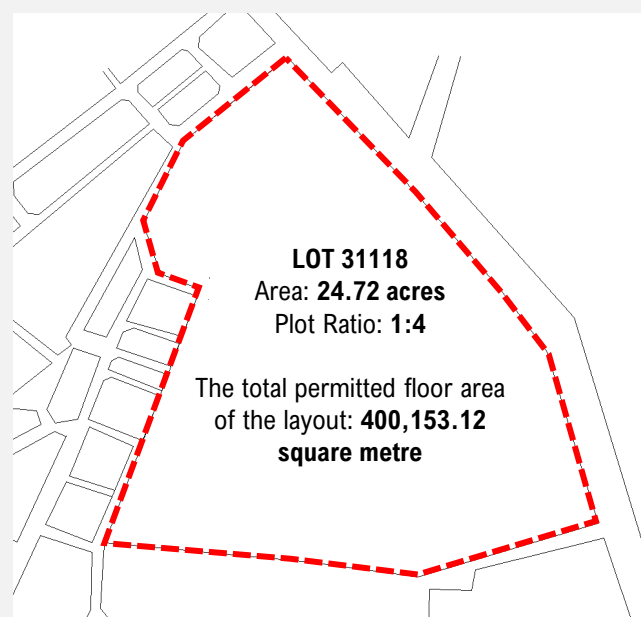
KLDCP2025 has determined the land use zone, designated boundary (area) and plot ratio for Lot 31118. The plot details are as shown in Table 4.1.2:

Table 4.1.2:
Example of Intensity Control for Layout Plan Plot Ratio Calculation

Component	KLDCP2025	Permitted Layout
PLOT	Lot 31118	Lot 31118
LAND USE ZONING	Mixed Development	Mixed Development
LOT AREA	24.72 acres	24.72 acres
PLOT RATIO	1:4	1:4
GFA	400,153.12 square metre	400,153.12 square metre

Figure 4.1.2:

Determination of the Permitted Total Floor Area of the Layout for Lot 31118



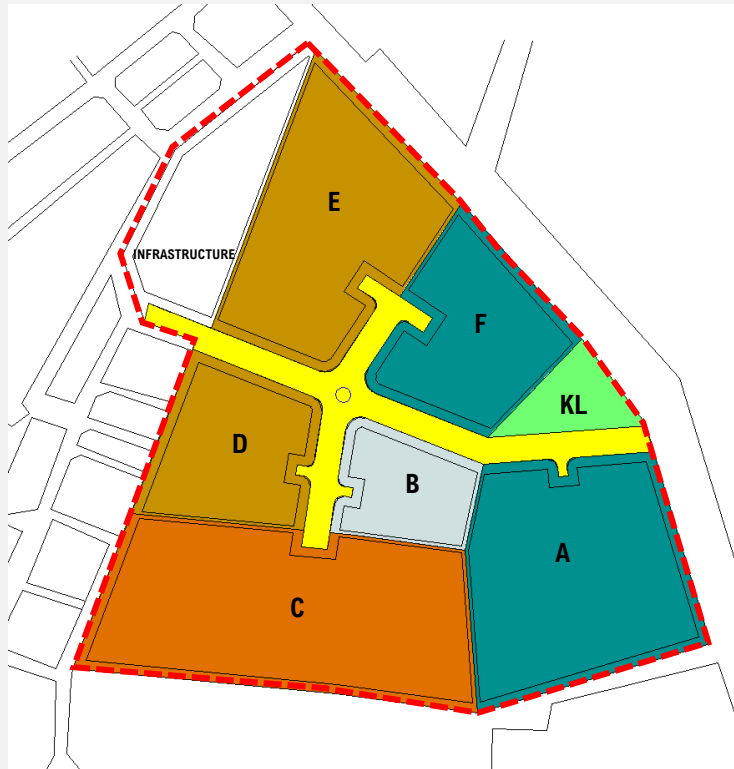
BRIEF INFO

CALCULATION OF INTENSITY CONTROL FOR LAYOUT PLAN PLOT RATIO

SCENARIO 1:

Calculation Steps of Intensity Control for Approval of Layout Plan Plot Ratio

1. Based on KLDCP2025, Lot 31118 has an area of 24.72 acres with a permitted GFA of 400,153.12 square metre.
2. The proposed development must ensure that the proposed GFA does not exceed the permitted GFA.
3. Lot 31118 is subdivided into detailed layout plan as summarised in Table 4.1.3.
4. If the development proposal meets the necessary conditions and criteria, this layout plan proposal will be approved.



Legend:

 Plot Boundary

Total plot area = 24.72 acres (**100,038.29 square metres**)

Base plot ratio = 1:4

Gross Floor Area (GFA) = Plot Area x Plot Ratio

= 100,038.29 square metres x 4

= **400,153.12 square metres**

Table 4.1.3:

Example of Calculation of Intensity Control for Approval of Layout Plan Plot Ratio

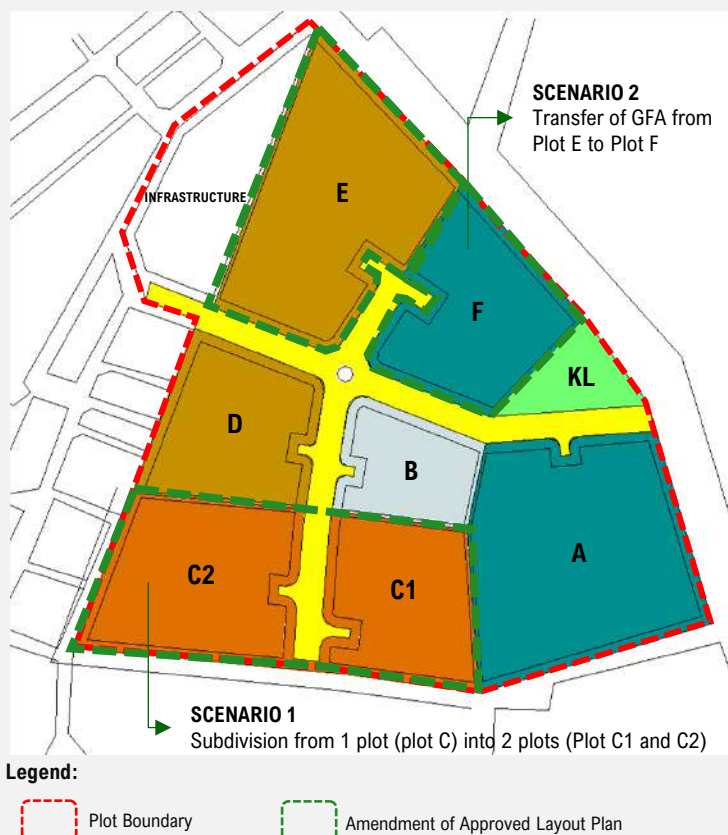
Plot	Land Area (Acres)	Land Area (Square Metre)	Gross Floor Area (GFA) (Square Metre)	Plot Ratio (each plot)
A	4.33	17,522.89	60,022.97	3.43
B	1.31	5,301.38	40,015.31	7.55
C	5.39	21,812.56	160,061.25	7.34
D	2.15	8,700.74	52,019.91	5.98
E	3.78	15,297.12	48,018.37	3.14
F	2.43	9,833.86	40,015.31	4.07
Open Space	1.21	4,896.70	0.00	-
Infrastructure	2.14	8,660.27	0.00	-
Road	1.98	8,012.78	0.00	-
Total	24.72	100,038.29	400,153.12	4.00

CALCULATION OF INTENSITY CONTROL FOR LAYOUT PLAN PLOT RATIO

SCENARIO 2:

Amendment of Approved Intensity Control of Layout Plan Plot Ratio

1. If a previously approved development proposal requires amendments, a proposed Layout Plan Amendment must be submitted.
2. Amendments must ensure that the area, plot ratio and overall GFA do not exceed those set by the KLDGP2025.
3. Layout plan amendments should be submitted with details such as comparison between the approved layout plans and proposed amended layout plan.
4. Table 4.1.4 provides an example of the calculation of the approved layout plan amendment.

**Table 4.1.4:**

Example of Calculation for Amendment of Intensity Control of an Approved Layout Plan Plot Ratio

Plot	Land Area (Acres)	Land Area (Square Metre)	Gross Floor Area (GFA) (Square Metre)	Plot Ratio (each plot)	Notes
A	4.33	17,522.89	60,022.97	3.43	
B	1.31	5,301.38	40,015.31	7.55	
C1	2.17	8,781.68	60,022.97	6.84	Plot subdivision
C2	2.85	11,533.54	100,038.28	8.67	Plot subdivision
D	2.15	8,700.74	52,019.91	5.98	
E	3.78	15,297.12	40,015.31	2.62	GFA increase
F	2.43	9,833.86	48,018.37	4.88	GFA increase
Open Space	1.21	4,896.70	0.00	-	
Infrastructure	2.14	8,660.27	0.00	-	
Road	2.35	9,510.11	0.00	-	Layout Amendment
Total	24.72	100,038.29	400,153.12	4.00	

BRIEF INFO

COMPARISON BETWEEN THE APPROVED AND AMENDED LAYOUT PLANS FOR INTENSITY CONTROL OF LAYOUT PLAN PLOT RATIO

Any amendment to the approved layout plan must show the comparison between the approved layout plans and amended layout plan as shown in Table 4.1.5.

Table 4.1.5:

Example of Comparison Between the Approved and Amended Layout Plans for Intensity Control of Layout Plan Plot Ratio

Approved Layout Plan				Amended Layout Plan			
Lot	Area (Acres)	Gross Floor Area (GFA) (Square Metre)	Plot Ratio	Lot	Area (Acres)	Gross Floor Area (GFA) (Square Metre)	Plot Ratio
A	4.33	60,022.97	3.43	A	4.33	60,022.97	3.43
B	1.31	40,015.31	7.55	B	1.31	40,015.31	7.55
C	5.39	160,061.25	7.34	C1	2.17	60,022.97	6.84
				C2	2.85	100,038.28	8.67
D	2.15	52,019.91	5.98	D	2.15	52,019.91	5.98
E	3.78	48,018.37	3.14	E	3.78	40,015.31	2.62
F	2.43	40,015.31	4.07	F	2.43	48,018.37	4.88
Open Space	1.21	0.00	-	Open Space	1.21	0.00	-
Infra	2.14	0.00	-	Infra	2.14	0.00	-
Road	1.98	0.00	-	Road	2.35	0.00	-
Jumlah	24.72	400,153.12	4.00	Jumlah	24.72	400,153.12	4.00

Based on Table 4.1.5, the GFA of Lot 31118 remains as per the approved plan. The amendment involves:

1. Subdivision of Plot C into Plot C1 and Plot C2;
2. GFA amendment of Plots E and F; and
3. Addition of road layout following the subdivision of Plot C.

The Planning Control Layer for River, Lake and Pond Side Corridors serves as planning control for all new developments and redevelopments located adjacent to rivers, lakes and ponds. This control layer is categorised into two (2) components as follows:

1. Riverside Corridor; and
2. Lakeside and Pondsides Corridors.

4-2.1 Definition of Planning Control Layer for River, Lake and Pond Side Corridors

The definition of the Planning Control Layer for Riverside Corridors is as follows:

1. **River:** A large stream that is the natural drainage of a river basin in its natural form excluding tributaries or monsoon drain;
2. **River reserve:** A strip of land adjacent to both banks of a river that is usually gazetted; and
3. **River corridor:** The area outside the river reserve that is within an identified distance.

The definition of Planning Control Layer for Lakeside and Pondsides Corridors is as follows:

1. **Lake:** A large water body (area of one (1) hectare or more) demarcated from the water's edge that can either function as a flood catchment area or a recreational area;
2. **Pond:** A medium or small-sized water body (with an area less than one (1) hectare) that is demarcated from water tide which may function as either a flood catchment area or a recreational area; and
3. **Lake and pond corridor:** The area within an identified distance between the edge of water tide of lakes and ponds.

4-2.2 Objectives of Planning Control Layer for River, Lake and Pond Side Corridors

The provision and implementation of the Riverside Corridors as a planning control layer are intended to:

1. Preserve and conserve river corridors as flood control areas;
2. Form interconnected ecological corridors to enhance natural habitats of urban biodiversity assets;
3. Improve public access to the rivers by providing continuous access along the river;
4. Encourage suitable development that can generate the economy;
5. Contribute to the provision of green areas for Kuala Lumpur;
6. Develop river areas as public recreation centres and nodes to attract tourists and enhance the image of Kuala Lumpur as a Green, Healthy and Vibrant City;
7. Preserve the Riverside Corridors as an access route and space for river operation and maintenance work; and
8. Ensure Implementation of Flood Mitigation Plan.

The provision and implementation of Lakeside and Pondsides Corridors as a planning control layer are intended to:

1. Ensure all forms of new developments and redevelopment around the lake and pond areas are harmonious, attractive, comfortable, safe and environmentally friendly;
2. Preserve and conserve the ecological corridor of the lake to enhance the natural habitat of the city's biodiversity assets and as a flood control area;
3. Make the Lakeside and Pondsides Corridors into recreational areas that are accessible to the public; and
4. Maintain Lakeside and Pondsides Corridors as access routes and spaces for lake and pond operation and maintenance work.

4-2.3 Location of Planning Control Layer for River, Lake and Pond Side Corridors

The implementation of the Planning Control Layers for Riverside Corridors involves 16 rivers as shown in Table 4.2.1 which are classified into three (3) categories, as follows:

1. **Category I:** The **main rivers** alignments that are the backbone of Kuala Lumpur's drainage system;
2. **Category II:** The **large rivers** alignments in the Kuala Lumpur drainage system; and
3. **Category III:** The **small rivers** alignments in the drainage system of Kuala Lumpur.

Table 4.2.1:

List of Rivers in Planning Control Layers for Riverside Corridors

River		Length (kilometre)
Category I: Main Rivers		
1.	Sungai Klang	16.50
2.	Sungai Gombak	8.20
3.	Sungai Batu	8.10
Category II: Large Rivers		
4.	Sungai Kerayong	9.37
5.	Sungai Kuyoh	6.82
6.	Sungai Bohol	0.80
7.	Sungai Midah	1.74
8.	Sungai Penchala	3.00
9.	Sungai Jinjang	5.37
10.	Sungai Keroh	6.90
11.	Sungai Kemuning	4.30
12.	Sungai Belankong	3.50
Category III: Small Rivers		
13.	Sungai Bonus	9.60
14.	Sungai Toba	4.20
15.	Sungai Kayu Ara	3.60
16.	Sungai Untut	3.70

Meanwhile, the implementation of the Planning Control Layers for Lakeside and Pondsides Corridors involves lakes and ponds that will be identified by KLCH. The selection of lakes and ponds will take into consideration according to the function and planning, especially related to the aspects of flood retention and recreational needs.

4-2.4 Aspects of Planning Control Layer for River, Lake and Pond Side Corridors

Planning controls for River, Lake and Pond Side Corridors apply to all plots of public and private land located on both sides of rivers, lakes and ponds.

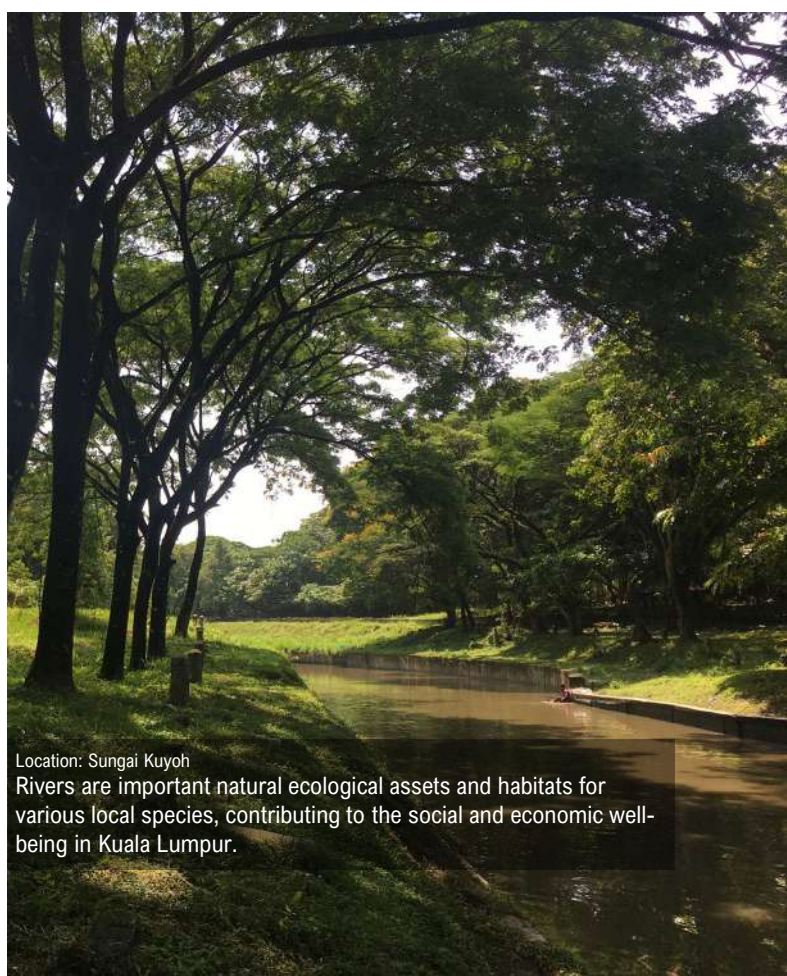
Determination of control boundaries for these side corridors are as follows:

1. **Riverside corridors:** Starts from the boundary of the river reserve or the highest water tide as shown in Figure 4.2.1; and
2. **Lakeside and Pondsides corridors:** Starts from the highest water tide of lakes and ponds as shown in Figure 4.2.2.

Table 4.2.2 and Table 4.2.3 detail out the planning control for River, Lake and Pond Side Corridors which involve following aspects:

1. Setback requirements;
2. Activities and structures;
3. Building orientation; and
4. Roads and public access.

Additional corridor space for the purpose of increasing connectivity and green network in Kuala Lumpur should be provided if there are future demand and need.



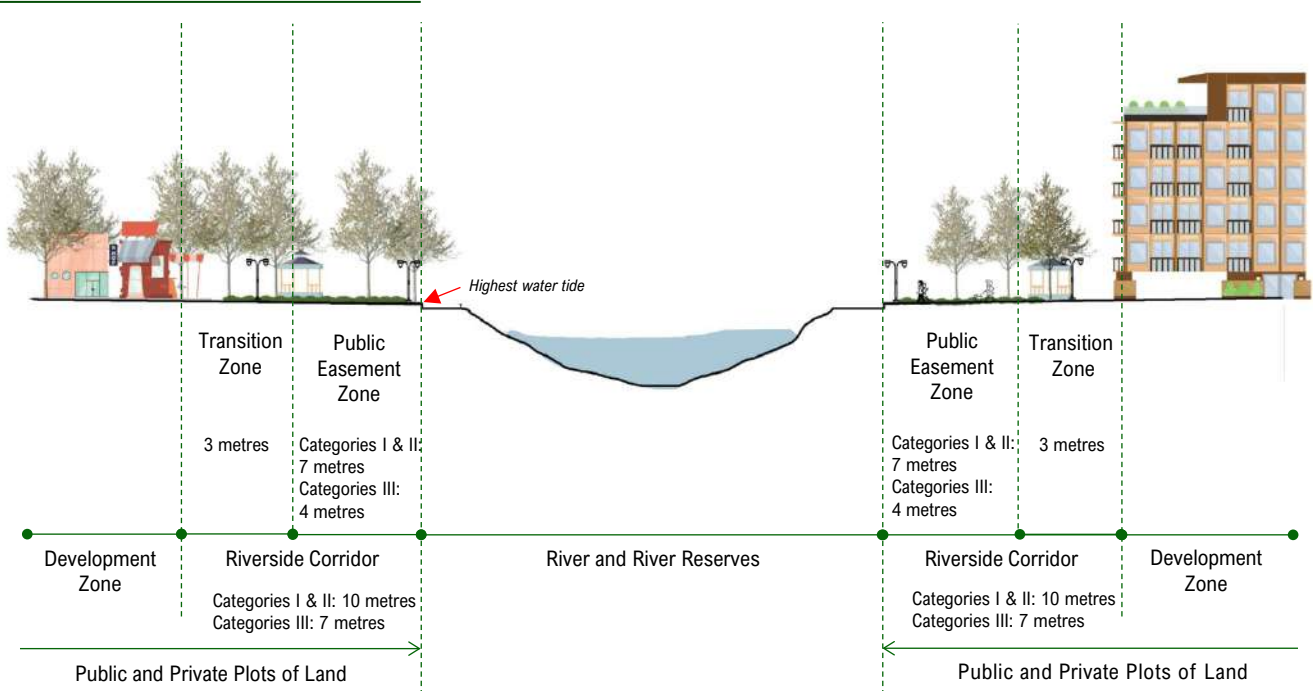
Location: Sungai Kuyoh

Rivers are important natural ecological assets and habitats for various local species, contributing to the social and economic well-being in Kuala Lumpur.

BRIEF INFO

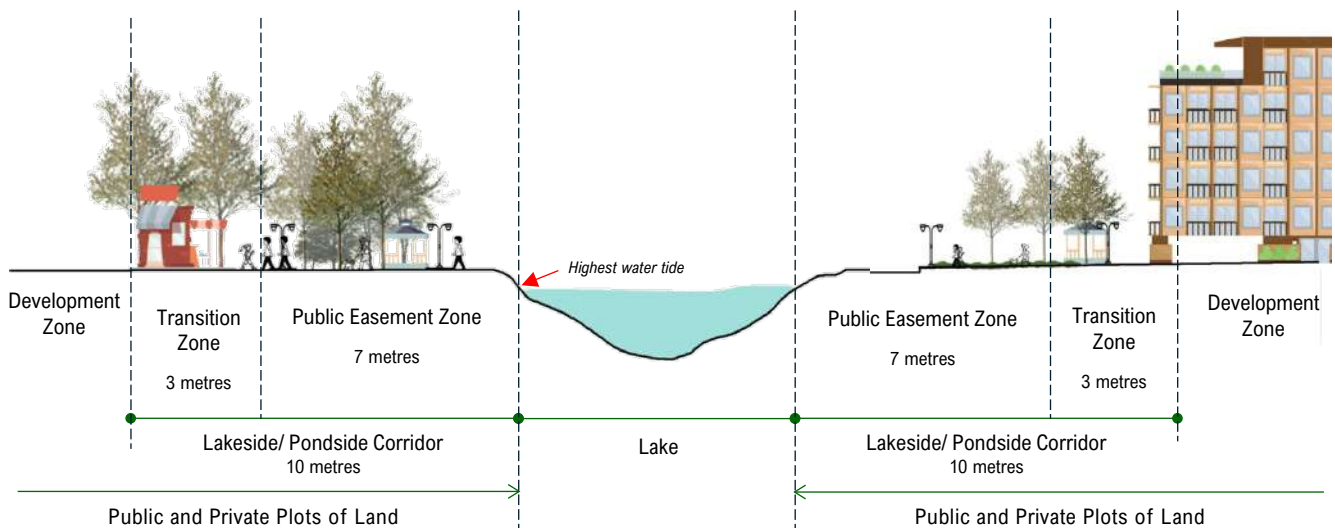
ZONE OF SIDE CORRIDORS OF RIVER, LAKE AND POND

Figure 4.2.1: Riverside Corridor Zone



The setback of the Riverside Corridor Zone starts from the boundary of the river reserve or the highest water tide level of the river.

Figure 4.2.2: Lakeside and Pondsides Corridor Zones



The setback of the Lakeside and Pondsides Corridor Zone starts from the highest water tide level of the lake and pond.

Table 4.2.2:**Type of Planning Control Layer for Riverside Corridors**

1. Setback Requirements	
<p>The setback requirement for Riverside Corridors refers to the minimum distance required between new development areas or redevelopments and river reserves or highest water tide.</p> <p>The required setback width is as follows:</p> <ol style="list-style-type: none"> A minimum ten (10) metres for river of Category I and II; and A minimum seven (7) metres for river of Category III. 	
2. Activity and Structure	
<ol style="list-style-type: none"> Permissible activities for plots of land along the river and designated boundary of the river reserve need to comply with the Land Use Zone and CULB2025. 	
Public Easement Zone <ol style="list-style-type: none"> Plots located within this zone must be surrendered and are not considered as part of the open space requirement for development; and The minimum width is seven (7) metres for rivers of Category I and II and four (4) meters for Category III. 	Permissible: <ol style="list-style-type: none"> Recreational activities; Elements of Safe City (Crime Prevention Through Environmental Design) such as the provision of CCTVs, security posts or lighting elements; Hardscape elements such as pedestrian and micromobility vehicle routes, gazebos, benches, and platforms for riverside recreation purposes; Softscape elements such as shade trees, palms, shrubs, and ground cover plants; and Urban farming is permissible with conditions for the purpose of meeting the needs of local community and provision is subject to the related agencies as well as does not obstructing public access. <hr/> Not Permissible: <ol style="list-style-type: none"> Permanent structures or buildings; Area for vehicle use (parking lot or access road); Private compound; and Poles for infrastructure, transport, and utilities (highway or rail-based).
Transition Zone <ol style="list-style-type: none"> Plots located within this zone may be used as public space, semi-public or private space depending on the characteristics of the Riverside Corridors and the type of development proposed; and The minimum width is three (3) metres for all river categories. 	Permissible: <ol style="list-style-type: none"> Recreational and socio-economic activities such as open dining (Al-Fresco); Elements of Safe City (Crime Prevention Through Environmental Design) such as the provision of CCTVs, security posts or lighting elements; Hardscape elements such as pedestrian and micromobility vehicle routes, gazebos, benches, and platforms for riverside recreation purposes; Softscape elements such as shade trees, palms, shrubs, and ground cover plants; Private compound (porches, terraces or decks) and building cantilevers from private areas (balconies or eaves); and The provision of a minimum requirement of two (2) metres of perimeter planting for all development schemes can be considered in this area (refer to the Planning Guidelines for Perimeter Planting Preparation, KLCH). <hr/> Not Permissible: <ol style="list-style-type: none"> Structures that do not contribute to the overall character of public spaces located adjacent to public easement zones and river reserves such as waste collection areas; Direct discharge of sewage and pollutants; and Buildings or utility structures (unless decorated with softscape elements).
3. Building Orientation	
<p>The following criteria apply to all new developments and redevelopments of building orientation adjacent to the Riverside Corridors:</p> <ol style="list-style-type: none"> The design of buildings and open spaces facing the river; Installation of boundary fences that do not obstruct views and provide access to the Riverside Corridors; and Compliance with the requirements of the building setback line. 	
4. Roads and Public Access	
<ol style="list-style-type: none"> Provision of public access to the Riverside Corridors; and Roads and public access located adjacent to the Riverside Corridors should be friendly and give priority to pedestrians with appropriate vehicle speed limits. 	

Table 4.2.3:**Type of Planning Control Layer for Lakeside and Pondside Corridors**

1. Setback Requirements	
<ul style="list-style-type: none"> a. The setback requirement for lake and the pond means the minimum distance requirements between new development areas or redevelopments and the highest water tide of respective lake and pond; and b. A minimum requirement of ten (10) metres of setback space for all lakes and ponds needs to be identified. 	
2. Activities and Structure	
<ul style="list-style-type: none"> a. Permissible activities for plots of land along lakes and ponds as well as designated boundary of the lakes and ponds need to comply with the Land Use Zone and CULB2025. 	
Public Easement Zone <ul style="list-style-type: none"> a. Plots located in this zone must be surrendered and are not considered as part of the open space requirement for development; and b. The minimum width is seven (7) metres. 	Permissible: <ul style="list-style-type: none"> a. Recreational activities; b. Elements of Safe City (Crime Prevention Through Environmental Design) such as the provision of CCTVs, security posts or lighting elements; c. Hardscape elements such as pedestrian and micromobility vehicle routes, gazebos, benches, and platforms for riverside recreation purposes; and d. Softscape elements such as shade trees, palms, shrubs and ground cover plant. Not Permissible: <ul style="list-style-type: none"> a. Permanent structures or buildings; b. Area for vehicle use (parking lot or access road); c. Private compound; and d. Poles for infrastructure, transport and utilities (highway or rail-based).
Transition Zone <ul style="list-style-type: none"> a. Plots located in the zone can be used as public space, semi-public or private space depending on the characteristics of the lake and pondside corridor and the type of development proposed; and b. The minimum width is three (3) meters. 	Permissible : <ul style="list-style-type: none"> a. Recreational and socio-economic activities such as open dining (Al-Fresco); b. Elements of Safe City (Crime Prevention Through Environmental Design) such as the provision of CCTVs, security posts or lighting elements; c. Hardscape elements such as pedestrian and micromobility vehicle routes, gazebos, benches and platforms for lake and pond recreation purposes; d. Softscape elements such as shade trees, palms, shrubs and ground cover plants; e. Private compound (porches, terraces or decks) and building cantilevers from private areas (balconies or eaves); and f. The provision of a minimum requirement of two (2) metres of perimeter planting for all development schemes can be considered in this area (refer to the Planning Guidelines for Perimeter Planting Preparation, KLCH). Not Permissible: <ul style="list-style-type: none"> a. Structures that do not contribute to the overall character of public spaces located adjacent to public easement zones and lake and pond reserves such as waste collection areas; b. Direct discharge of sewage and pollutants; and c. Buildings or utility structures (unless decorated with softscape elements).
3. Building Orientation	
<p>The following criteria apply to all new developments and redevelopments of building orientation adjacent to the Lakeside and Pondside Corridors:</p> <ul style="list-style-type: none"> a. The design of buildings and open spaces facing lakes and ponds; b. Installation of boundary fences that do not obstruct views and provide access to lakes and ponds; and c. Compliance with the requirements of the building setback line. 	
4. Roads and Public Access	
<ul style="list-style-type: none"> a. Provision of public access to the Lakeside and Pondside Corridors; and b. Roads and public access located adjacent to the Lakeside and Pondside Corridors should be friendly and give priority to pedestrians with appropriate vehicle speed limits. 	

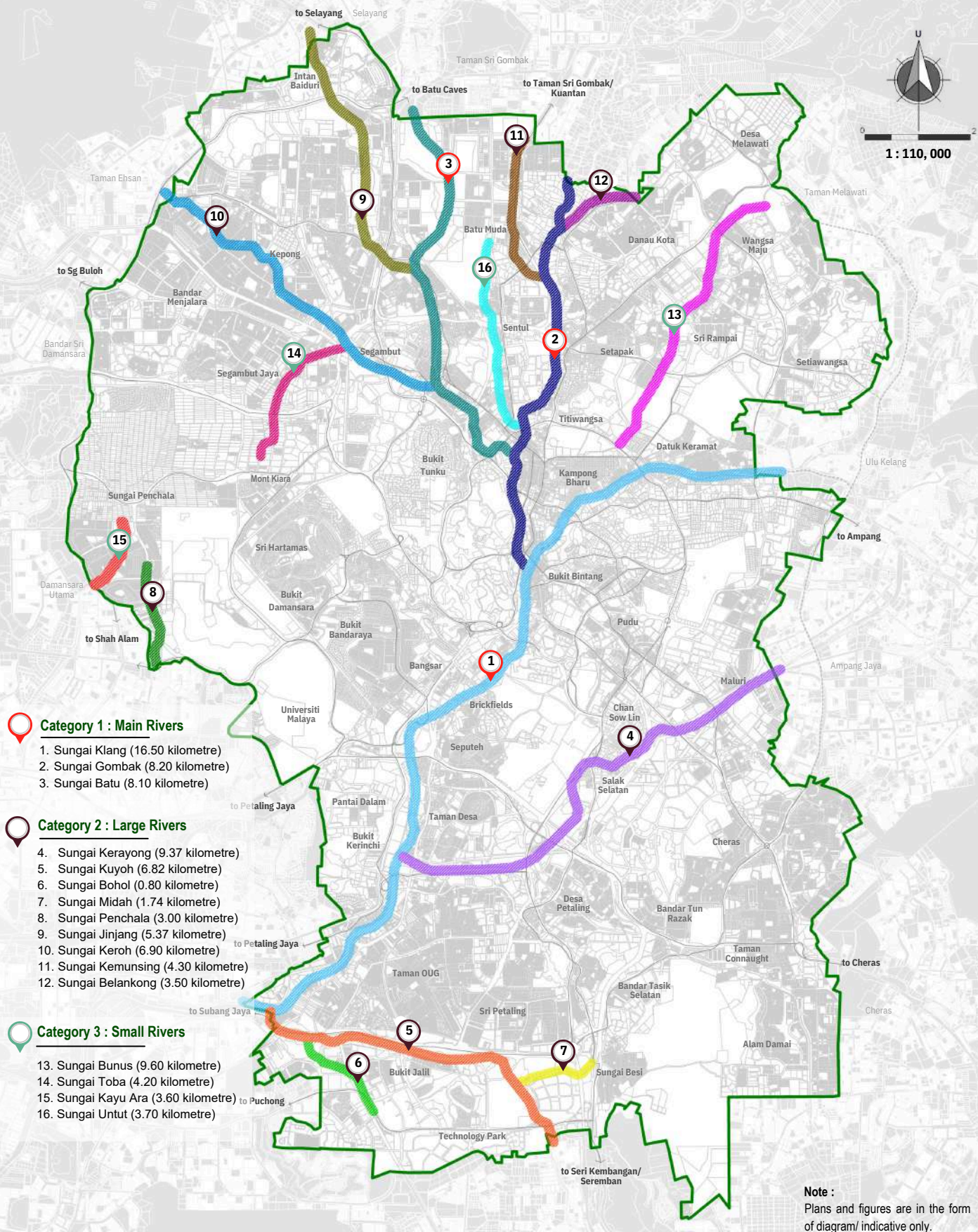


FIGURE 4.2.3 | Plan of Planning Control Layer for Riverside Corridors

Legend :

Side Corridors of River

- | | | |
|-------------------|--------------------|-------------------|
| ● Sungai Klang | ● Sungai Midah | ● Sungai Bunus |
| ● Sungai Gombak | ● Sungai Penchala | ● Sungai Toba |
| ● Sungai Batu | ● Sungai Jinjang | ● Sungai Kayu Ara |
| ● Sungai Kerayong | ● Sungai Keroh | ● Sungai Untut |
| ● Sungai Kuyoh | ● Sungai Kemuning | |
| ● Sungai Bohol | ● Sungai Belankong | |

Other

- | |
|-------------------------|
| — Main Road |
| — Kuala Lumpur Boundary |

The Planning Control Layer for Heritage Areas or Buildings is to ensure that buildings in the designated zone comply with the specified requirements and guidelines. Compliance with heritage area development guidelines is aimed to conserve and maintain the special character within the Kuala Lumpur Heritage Zone.

4-3.1 Objectives of Planning Control Layer for Heritage Areas or Buildings

The objectives of designating heritage areas or buildings are as follows:

1. To maintain and preserve buildings or sites that have historical significance for a specific area;
2. To highlight the uniqueness of Kuala Lumpur by conserving and enhancing the character, image and cultural heritage identity of specific areas;
3. To ensure that modifications and new developments comply with the established requirements based on heritage area development control mechanism; and
4. To provide long-term protection on properties of heritage significance to ensure conservation through resource management on a larger scale.

4-3.2 Components of Planning Control Layer for Heritage Areas or Buildings

The heritage areas or buildings planning control layer is categorised into three (3) components which are as follows:

1. Heritage Zones;
2. Heritage Buildings; and
3. Heritage Sites.

The details of each components are as shown in Table 4.3.1, 4.3.2 and 4.3.3.

Table 4.3.1:

Components of Planning Control Layer for Heritage Areas or Buildings

1. Heritage Zones
<p>Refers to specific areas that have heritage significance. It requires different levels of control according to the overall character of the area, heritage buildings, and new developments within the area.</p> <p>The Heritage Zone is categorised into three (3) zones:</p> <ol style="list-style-type: none"> 1. Primary Heritage Zone; 2. Secondary Heritage Zone; and 3. Special Character Zone.
2. Heritage Buildings
<p>A heritage building with historical, architectural, cultural or aesthetic value that requires conservation either in whole or in part depending on the significance of the heritage category.</p> <p>Refers to buildings designated as heritage buildings under Section 24 of the National Heritage Act 2005 (Act 645) and buildings in the process of being gazette by the National Heritage Department (JWN). In consideration of the need for conservation and preservation of suitable shophouses or buildings, KLLP2040 also determines the control measures for such buildings.</p> <p>Heritage buildings are classified into three (3) categories:</p> <ol style="list-style-type: none"> 1. Category 1 Heritage Buildings; 2. Category 2 Heritage Buildings; and 3. Old Buildings of Heritage Significance.
3. Heritage Sites
<p>A site identified as having significant historical value to Kuala Lumpur.</p> <p>Refers to a site designated as a heritage site under Section 24 of the National Heritage Act 2005 (Act 645), a heritage site in the gazetting process by the National Heritage Department (JWN) and other sites with heritage significance.</p> <p>Heritage sites refer to Taman Botani Perdana, Padang Kelab Selangor (Dataran Merdeka), Kompleks Sukan Negara Bukit Jalil, Taman Botani Rimba Ilmu Universiti Malaya and Taman Tasik Titivangsa.</p>

1. Heritage Zones

The Heritage Zones consist of old buildings with a special architectural character which ought to be preserved. It is mostly concentrated in the Kuala Lumpur City Centre.

The level of importance and conservation approach in each Heritage Zone is varied depending on the character of the area, heritage buildings and new developments in the zone.

Location: Stesen Keretapi Kuala Lumpur

Source : <https://www.shutterstock.com/g/RichieChan>

The Kuala Lumpur Railway Station is known for its Mughal Eclectic architectural style was built in 1910 as an important rail transport hub at the time. It was gazetted as a heritage building in 1983.

Table 4.3.2: Heritage Zone Categories

Heritage Zone Categories		Heritage Area/ Site/ Building
PRIMARY HERITAGE ZONE	<p>This zone consists of groups of buildings that have been gazetted under the Antiquities Act 1976 and, presently, the National Heritage Act 2005 (Act 645).</p> <ol style="list-style-type: none"> 1. Primary Heritage Zone of Bangunan Parlimen, Carcosa Seri Negara and Taman Botani Perdana; and 2. Primary Heritage Zone of Padang Kelab Selangor (Dataran Merdeka), Bangunan Stesyen Keretapi, Masjid Negara and Stadium Merdeka. 	<ol style="list-style-type: none"> 1. Bangunan Parlimen; 2. Bangunan Carcosa and Istana Tetamu; 3. Muzium Negara; 4. Padang Kelab Selangor (Dataran Merdeka); 5. Bangunan Stesyen Keretapi and Masjid Negara; and 6. Stadium Merdeka and Stadium Negara.
SECONDARY HERITAGE ZONE	<p>This zone consists of buildings of historical interest and architectural value located close to each other and sited between new and old buildings.</p> <ol style="list-style-type: none"> 1. Secondary Heritage Zone of Jalan Petaling and Bukit Nanas; and 2. Secondary Heritage Zone of Pekan Sungai Besi. 	<ol style="list-style-type: none"> 1. Bukit Nanas/ St. John Cathedral; 2. Jalan Tun H S Lee; 3. Medan Pasar/ Pasar Seni; 4. Jalan Petaling/ Jalan Panggung; and 5. Jalan Suasa, Pekan Sungai Besi.
SPECIAL CHARACTER ZONE	<p>This zone consists of old and new shophouses as well as hold some historical significance. The focus is on maintaining the character of the shophouses and urban continuity in terms of activities and functions.</p> <ol style="list-style-type: none"> 1. Special Character Zone of Jalan Raja Laut and Jalan Sultan Azlan Shah (Jalan Ipoh); 2. Special Character Zone of Jalan Tuanku Abdul Rahman, Jalan Doraisamy and Jalan Dang Wangi; 3. Special Character Zone of Kawasan Brickfields; and 4. Special Character Zone of Jalan Pudu. 	<ol style="list-style-type: none"> 1. Kawasan Jalan Chow Kit and Jalan Sultan Azlan Shah (Jalan Ipoh); 2. Jalan Tuanku Abdul Rahman; 3. Jalan Raja Laut; 4. Jalan Masjid India; 5. Jalan Melayu; 6. Jalan Doraisamy; 7. Jalan Kamunting; 8. Kawasan Brickfields; and 9. Jalan Pudu.

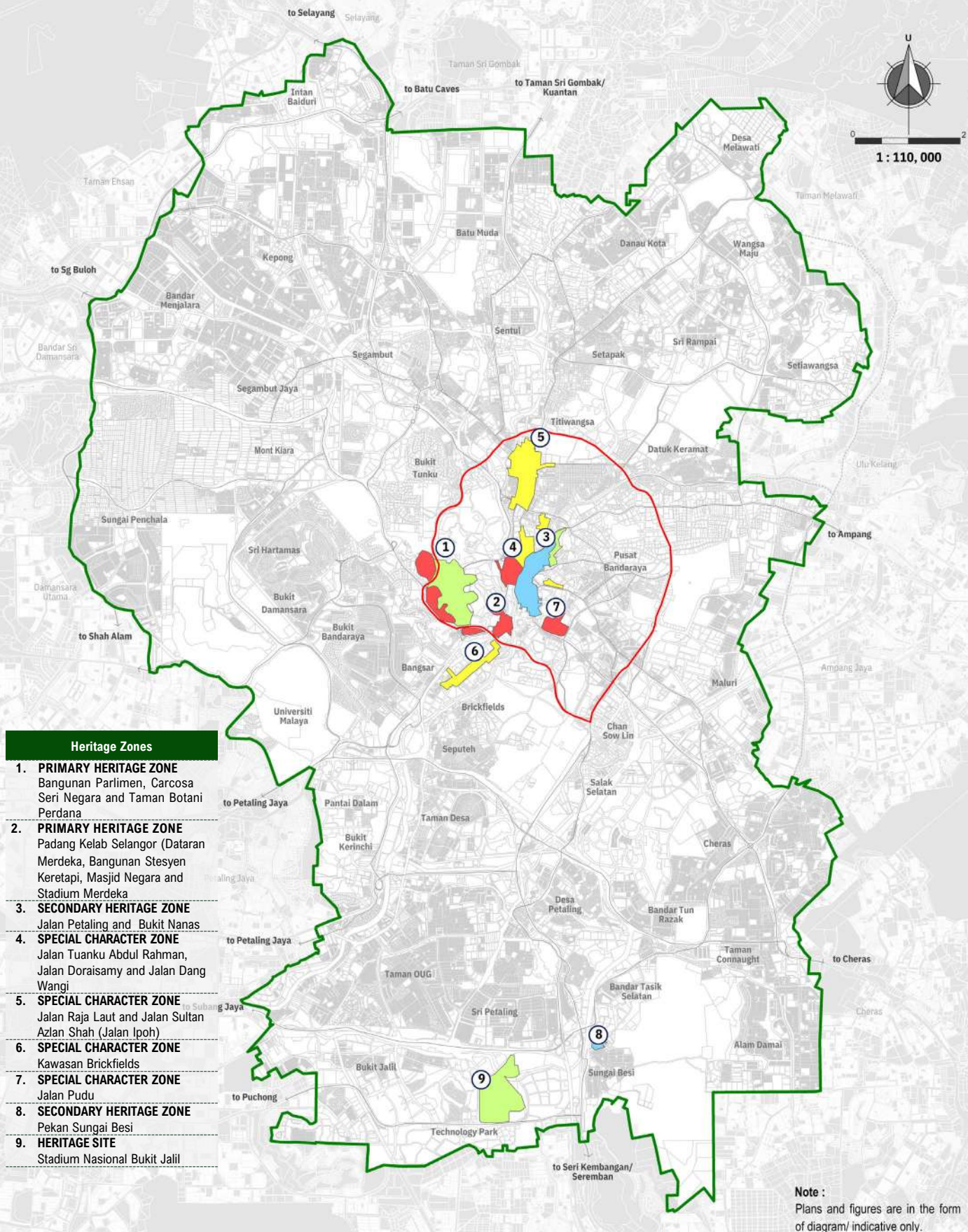
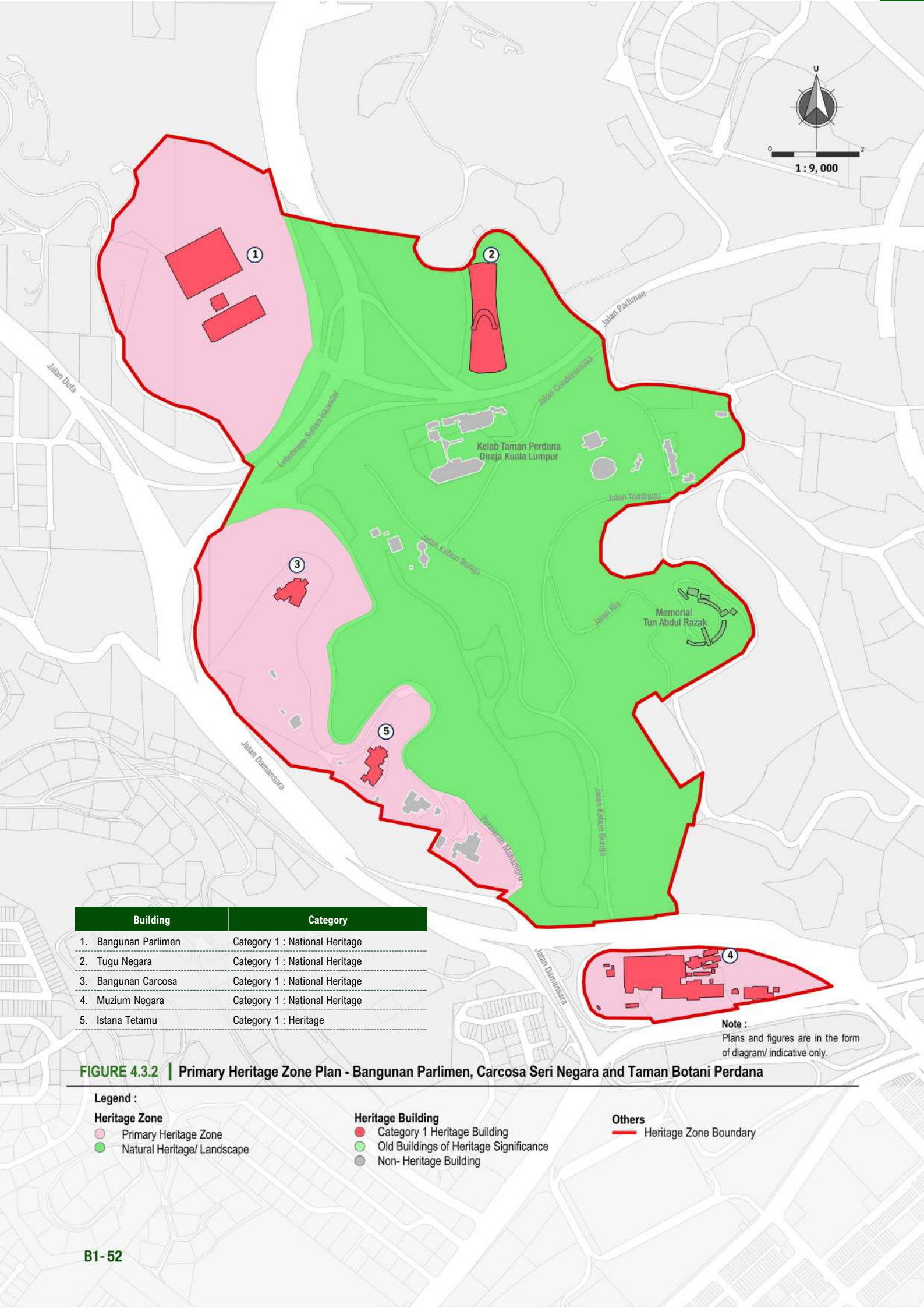


FIGURE 4.3.1 | Kuala Lumpur Heritage Zone Plan

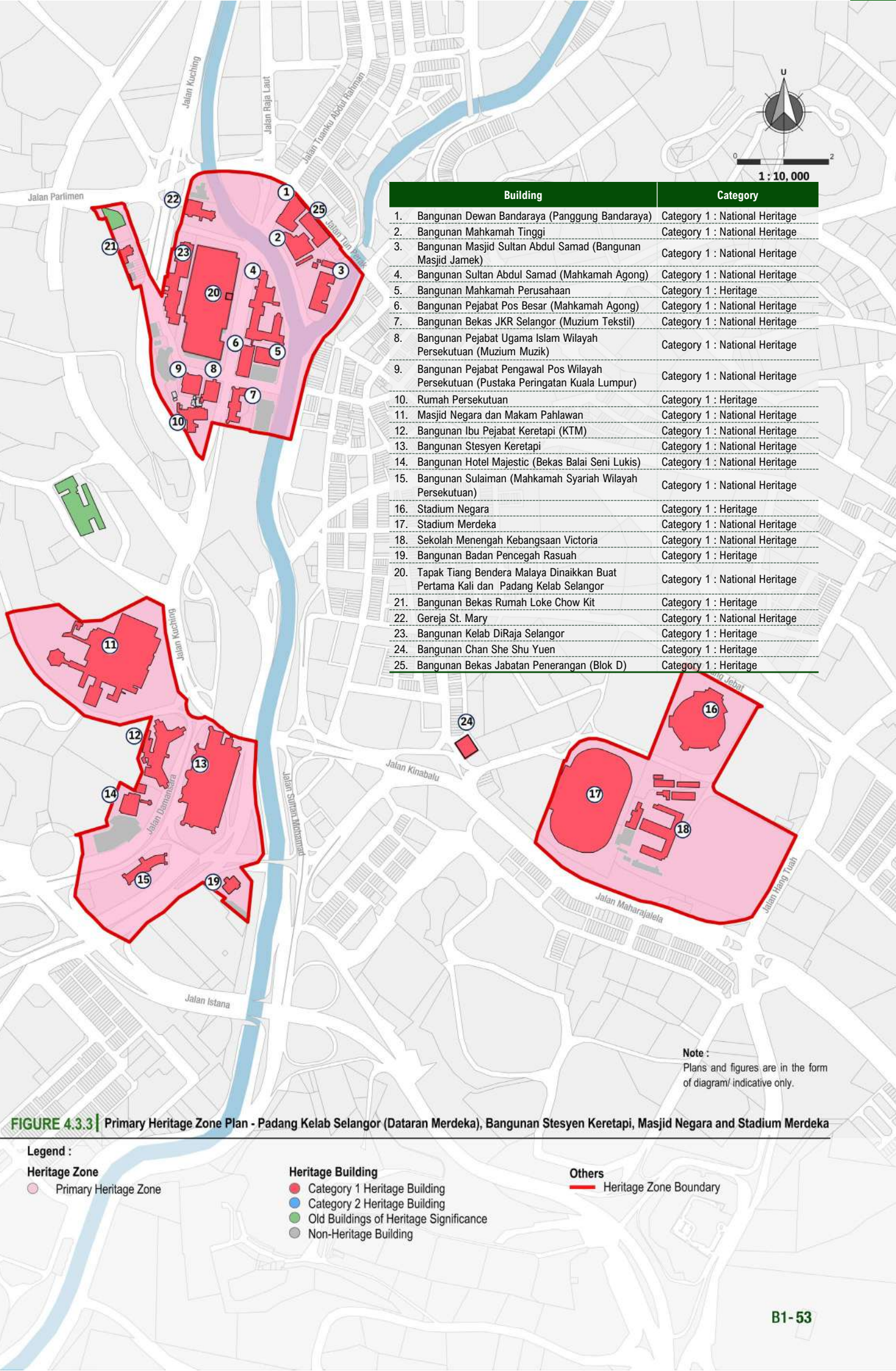


Building	Category
1. Bangunan Parlimen	Category 1 : National Heritage
2. Tugu Negara	Category 1 : National Heritage
3. Bangunan Carcosa	Category 1 : National Heritage
4. Muzium Negara	Category 1 : National Heritage
5. Istana Tetamu	Category 1 : Heritage

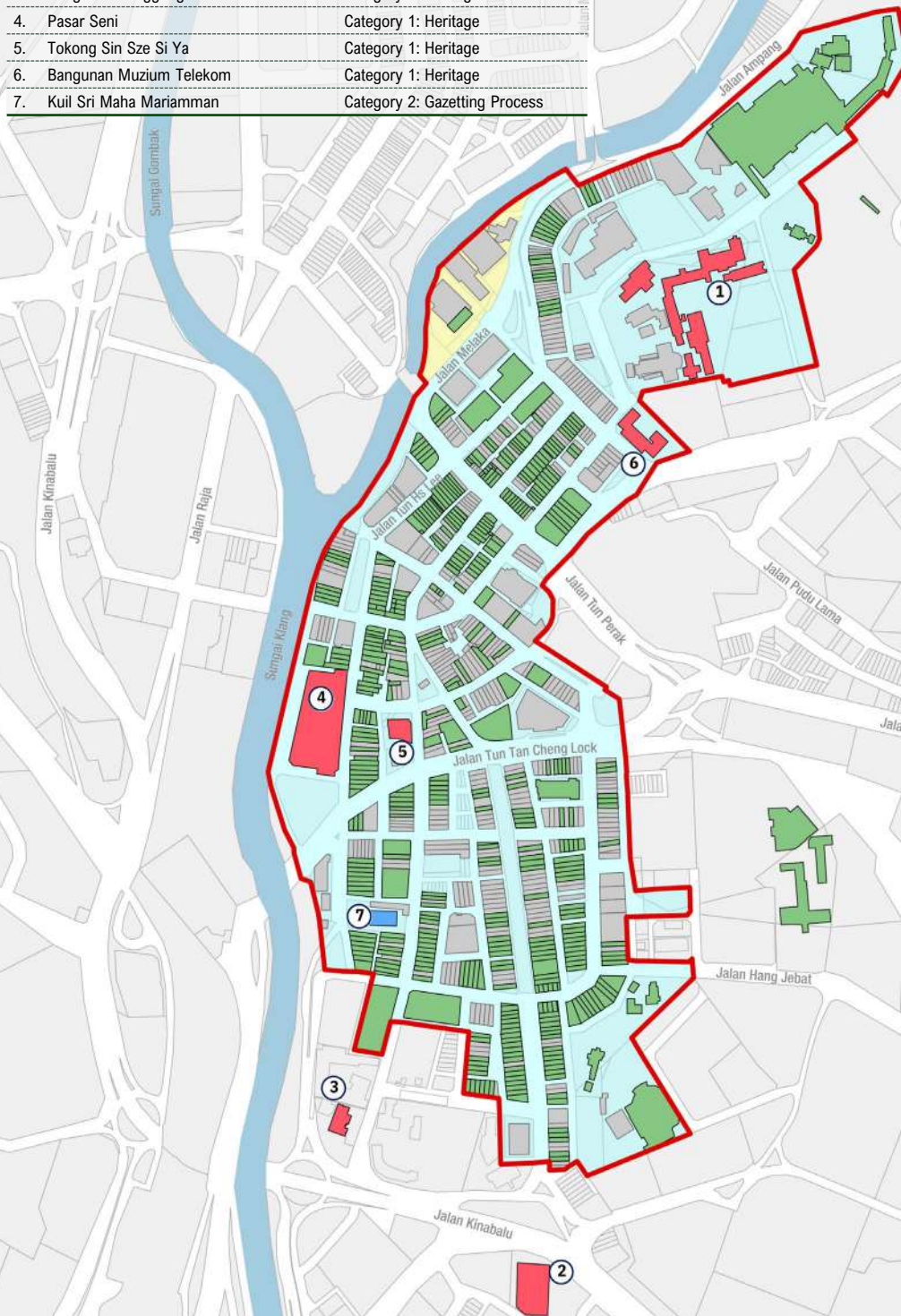
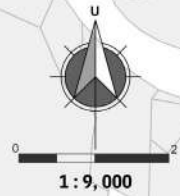
Note :
Plans and figures are in the form
of diagram/ indicative only.

FIGURE 4.3.2 | Primary Heritage Zone Plan - Bangunan Parlimen, Carcosa Seri Negara and Taman Botani Perdana

Legend :		Heritage Building	Others
Heritage Zone		Category 1 Heritage Building	Heritage Zone Boundary
Primary Heritage Zone		Old Buildings of Heritage Significance	
Natural Heritage/ Landscape		Non- Heritage Building	



Building	Category
1. Bangunan Sekolah Menengah St. John	Category 1: National Heritage
2. Dewan Perhimpunan Cina Kuala Lumpur dan Selangor	Category 1: National Heritage
3. Bangunan Panggung Drama	Category 1: Heritage
4. Pasar Seni	Category 1: Heritage
5. Tokong Sin Sze Si Ya	Category 1: Heritage
6. Bangunan Muzium Telekom	Category 1: Heritage
7. Kuil Sri Maha Mariamman	Category 2: Gazetting Process



Note :
Plans and figures are in the form of diagram/ indicative only.

FIGURE 4.3.4 | Secondary Heritage Zone Plan - Jalan Petaling and Bukit Nanas

Legend :

Heritage Zone

- Secondary Heritage Zone
- Special Character Zone

Heritage Building

- Category 1 Heritage Building
- Category 2 Heritage Building
- Old Buildings of Heritage Significance
- Non-Heritage Building

Others

- Heritage Zone Boundary

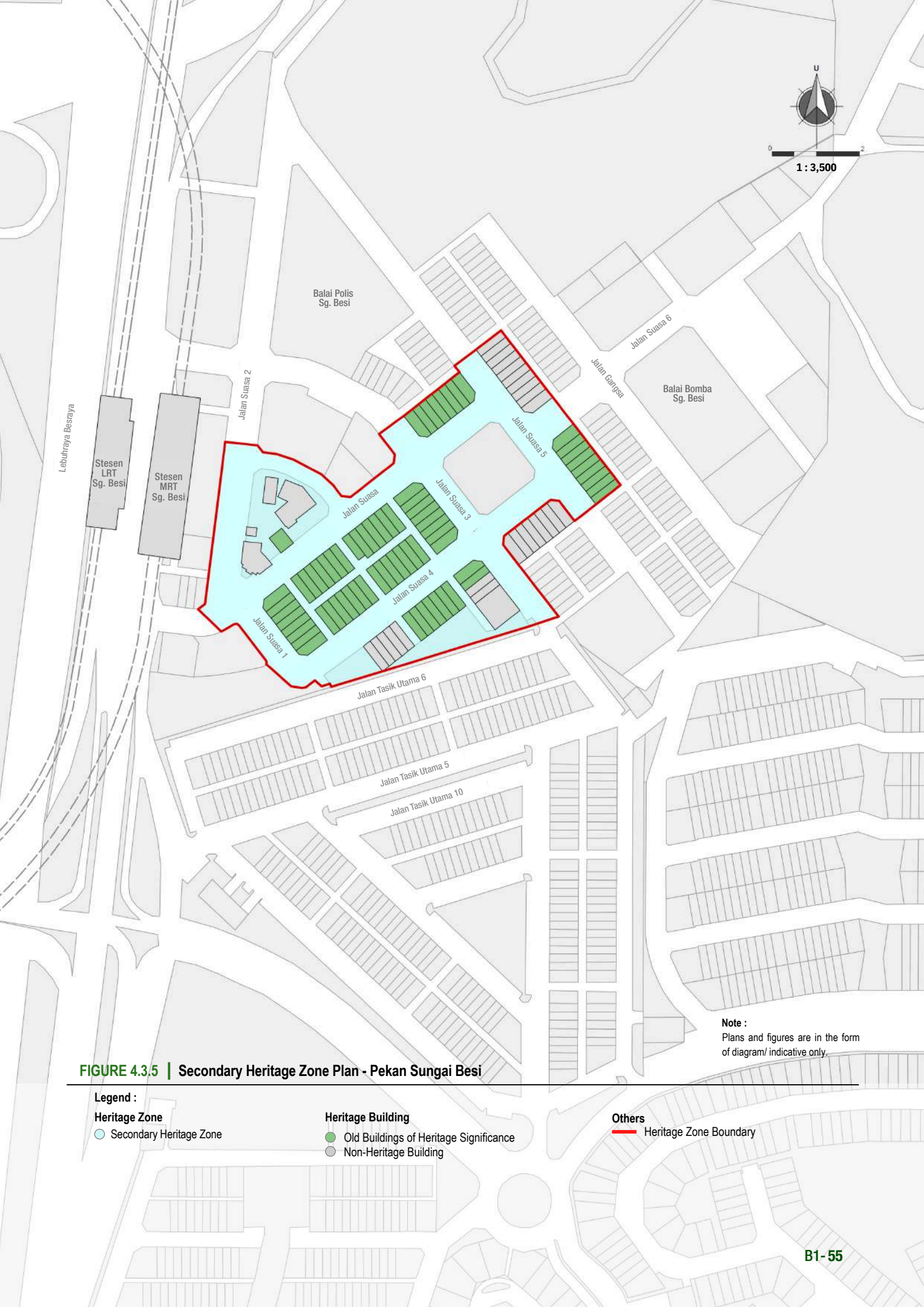


FIGURE 4.3.5 | Secondary Heritage Zone Plan - Pekan Sungai Besi

Legend :

Heritage Zone

○ Secondary Heritage Zone

Heritage Building

● Old Buildings of Heritage Significance

● Non-Heritage Building

Others

— Heritage Zone Boundary



FIGURE 4.3.6 | Special Character Zone Plan - Jalan Raja Laut and Jalan Sultan Azlan Shah (Jalan Ipoh)

Legend :

Heritage Zone

Special Character Zone

Heritage Building

Category 1 Heritage Building

Old Buildings of Heritage Significance

Non-Heritage Building

Others

Heritage Zone Boundary



FIGURE 4.3.7 | Special Character Zone Plan - Jalan Tunku Abdul Rahman, Jalan Doraisamy and Jalan Dang Wangi

Legend :

Heritage Zone

- Special Character Zone

Heritage Building

- Old Buildings of Heritage Significance
- Non-Heritage Building

Others

- Heritage Zone Boundary

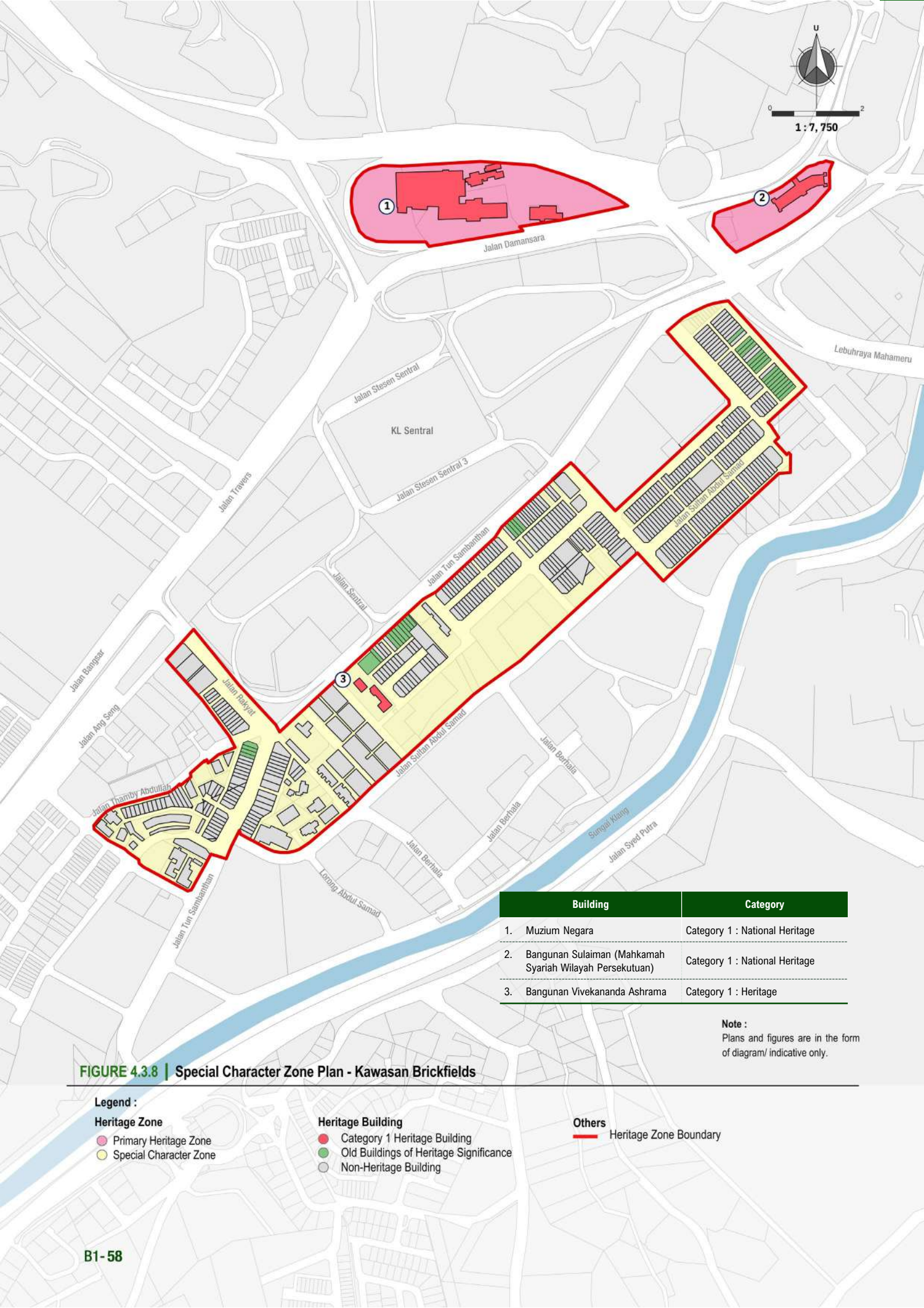


FIGURE 4.3.8 | Special Character Zone Plan - Kawasan Brickfields

Building	Category
1. Muzium Negara	Category 1 : National Heritage
2. Bangunan Sulaiman (Mahkamah Syariah Wilayah Persekutuan)	Category 1 : National Heritage
3. Bangunan Vivekananda Ashrama	Category 1 : Heritage

Note :
Plans and figures are in the form of diagram/ indicative only.

Legend :

Heritage Zone

- Primary Heritage Zone
- Special Character Zone

Heritage Building

- Category 1 Heritage Building
- Old Buildings of Heritage Significance
- Non-Heritage Building

Others

- Heritage Zone Boundary



FIGURE 4.3.9 | Special Character Zone Plan - Jalan Pudu

Note :
Plans and figures are in the form
of diagram/ indicative only.

Legend :

Heritage Zone

○ Special Character Zone

Heritage Building

● Old Buildings of Heritage Significance
○ Non-Heritage Building

Others

— Heritage Zone Boundary

2. Heritage Buildings

Heritage buildings have historical, architectural, cultural or aesthetic values that require conservation either in whole or in part depending on the significance of the heritage category.

Old or historical buildings that have been identified will be declared heritage buildings by the Heritage Commissioner under the National Heritage Act 2005 (Act 645) or buildings with the potential to be retained under the jurisdiction of the relevant Local Planning Authority.

The KLLP2040 classifies heritage buildings into three (3) categories which are as follows:

- Category 1 Heritage Buildings;
- Category 2 Heritage Buildings; and
- Old Buildings of Heritage Significance.

a. Category 1 Heritage Buildings

Sites, buildings and monuments that have significance in terms of design and construction.

- Gazetted buildings under the National Heritage Act 2005 (Act 645), encompasses of National Heritage and Heritage buildings;
- Buildings listed as National Heritage or Heritage by National Heritage Department (JWN) as shown in the Table 4.3.4;
- Buildings with architectural, social (historical and cultural) and economic value to the community, state, country and internationally; and
- Only conservation works is allowed on Category 1 Heritage Buildings and is fully controlled by the National Heritage Department (JWN).

BRIEF INFO

ARCHITECTURAL ERAS OF HERITAGE BUILDINGS, KUALA LUMPUR



Pre-Colonial Era
Before Year 1870



Colonial Era
Year 1870 - 1957



Independence Era
Year 1945 - 1957



Post-Independence Era
Year 1957 - now

Table 4.3.3:

Category 1 Heritage Buildings in Kuala Lumpur, 2024

Type of Heritage	National Heritage	Heritage
1. Building	30	43
2. Monument	2	1
3. Site	1	0
Total	33	44
Overall	77	

Note:

- Taman Botani Perdana is a heritage site and should refer to item 3. Heritage Sites; and
- The Tapak Tiang Bendera Malaya Dinaikkan Buat Pertama Kali and Padang Kelab Selangor (Dataran Merdeka) are categorised as Monuments and included in the heritage site.

Source : National Heritage Department, 2024

Table 4.3.4: Category 1 Heritage Buildings and Sites

Heritage Site	Site Category	Era - Architectural Style	Purpose	Heritage Category
1. Bangunan Bekas JKR Selangor (Muzium Tekstil), Jalan Sultan Hishamuddin	Building	Colonial-Mughal Eclectic	Gallery/ Museum	National Heritage
2. Bangunan Canseleri, Dewan Tunku Canselor dan Panggung Eksperimen, Universiti Malaya	Building	Post Independence-Modern	University	National Heritage
3. Bangunan Carcosa, Taman Tasik Perdana	Building	Colonial-Neo Gothic and Tudor	Empty/ Idle	National Heritage
4. Bangunan Dewan Bandaraya (Panggung Bandaraya), Jalan Raja	Building	Colonial-Mughal Eclectic	Empty/ Idle	National Heritage
5. Bangunan Ibu Pejabat Keretapi (KTM), Jalan Sultan Hishamuddin	Building	Colonial-Mughal Eclectic	Train Station	National Heritage
6. Bangunan Bekas Jabatan Penerangan (Blok D), Jalan Tun Perak	Building	Colonial-Mughal Eclectic	Empty/ Idle	National Heritage
7. Bangunan Mahkamah Tinggi, Jalan Raja	Building	Colonial-Mughal Eclectic	Empty/ Idle	National Heritage
8. Bangunan Masjid Sultan Abdul Samad, (Bangunan Masjid Jamek), Jalan Tun Perak	Building	Colonial-Mughal Eclectic	Mosque/ House of Worship	National Heritage
9. Bangunan Parlimen, Jalan Parlimen	Building	Post Independence-Modern	Parliament	National Heritage
10. Bangunan Pejabat Pengawal Pos Wilayah Persekutuan (Pustaka Peringatan Kuala Lumpur), Jalan Raja	Building	Colonial-Mughal Eclectic	Cafe	National Heritage
11. Bangunan Pejabat Pos Besar (Mahkamah Agung), Jalan Raja	Building	Colonial-Mughal Eclectic	Government Office	National Heritage
12. Bangunan Pejabat Ugama Islam W.Persekutuan (Muzium Muzik), Jalan Raja	Building	Colonial-Mughal Eclectic	Empty/ Idle	National Heritage
13. Bangunan Residen, Jalan Dato' Onn	Building	Colonial-No information	Gallery/ Museum	National Heritage
14. Sekolah Menengah St. John, Jalan Bukit Nanas	Building	Colonial-Early Romanesque and European Borosque	School	National Heritage
15. Bangunan Stesyen Keretapi, Jalan Sultan Hishamuddin	Building	Colonial-Mughal Eclectic	Train Station	National Heritage
16. Bangunan Sultan Abdul Samad (Mahkamah Agung), Blok A, Jalan Raja	Building	Colonial-Mughal Eclectic	Government Office	National Heritage
17. Dewan Perhimpunan Cina Kuala Lumpur dan Selangor, Jalan Maharajalela	Building	Colonial-Neo Classical	Hall	National Heritage
18. Gereja St. Mary, Jalan Raja	Building	Colonial-Early English Gothic	Church/ House of Worship	National Heritage
19. Institut Penyelidikan Getah Malaysia, Jalan Ampang	Building	Colonial-Early Modern	Research Institute	National Heritage
20. Istana Negara, Jalan Istana	Building	Colonial-Neo Classical	Gallery/ Museum	National Heritage
21. Masjid Negara dan Makam Pahlawan, Jalan Perdana	Building	Post Independence-Modern Vernacular	Mosque/ House of Worship	National Heritage
22. Bangunan Sekolah Menengah Kebangsaan Victoria, Jalan Hang Tuah	Building	Colonial-British Colonial	School	National Heritage
23. Stadium Merdeka, Jalan Stadium	Building	Independence Era-Modern	Stadium	National Heritage
24. Tugu Negara, Jalan Parlimen	Monument	Post Independence-Not applicable	Monument	National Heritage
25. Muzium Negara, Jalan Damansara	Building	Post Independence-Modern Vernacular	Museum	National Heritage
26. Bangunan Lama Pusat Pelancongan Malaysia (MaTiC) dan Dewan Tunku Abdul Rahman, Jalan Ampang	Building	Colonial-Neo Classical	Hall	National Heritage
27. Bangunan Lama Dewan Bahasa dan Pustaka, Jalan Dewan Bahasa	Building	Post Independence-Modern	DBP Gallery	National Heritage

Source: National Heritage Department, 2024

Table 4.3.4: Category 1 Heritage Buildings and Sites (continued)

Heritage Site	Site Category	Era - Architectural Style	Purpose	Heritage Category
28. Bangunan Sulaiman (Mahkamah Syariah Wilayah Persekutuan) Jalan Sultan Hishamuddin	Building	Colonial-Art Deco	Hotel	National Heritage
29. Bangunan Hotel Majestic (Bekas Balai Seni Lukis), Jalan Sultan Hishamuddin	Building	Colonial Mughal Eclectic	Hotel	National Heritage
30. Bangunan Istana Budaya, Jalan Tun Razak	Building	Post Independence-Modern	Stage	National Heritage
31. Bangunan Perpustakaan Negara Malaysia, Jalan Tun Razak	Building	Post Independence-Modern	Library	National Heritage
32. Tapak Tiang Bendera Malaya Dinaikkan Buat Pertama Kali dan Padang Kelab Selangor, Jalan Raja	Monument	Post Independence-Not related	Square	National Heritage
33. Taman Botani Perdana (Taman Tasik Perdana Kuala Lumpur), Jalan Perdana	Landscape Site	Not related	Garden	National Heritage
34. Bangunan Badan Pencegah Rasuah, Jalan Sultan Sulaiman	Building	Colonial-No information	Heritage Development Centre	Heritage
35. Bangunan Bekas Rumah Loke Chow Kit, Jalan Tangsi	Building	Colonial-European Baroque	Office building	Heritage
36. Bangunan Mahkamah Perusahaan, Jalan Belanda	Building	Colonial-Mughal Eclectic	Empty/ Idle	Heritage
37. Bangunan Muzium Telekom, Jalan Raja Chulan	Building	Colonial-Neo Classical Greek	Museum/ Gallery	Heritage
38. Bangunan Panggung Drama, Jalan Bandar	Building	Colonial-English Cottage	Empty/ Idle	Heritage
39. Bangunan Pusat Penyelidikan Perubatan, Jalan Pahang	Building	Colonial-Art Deco	Research Institute	Heritage
40. Istana Tetamu, Taman Tasik Perdana	Building	Colonial-Neo Classical	Empty/ Idle	Heritage
41. Pasar Seni, Jalan Hang Kasturi	Building	Colonial-Art Deco	Market/ Complex	Heritage
42. Pustaka Peringatan P.Ramlee, Jalan Dedap	Building	Post Independence-Modern	Gallery	Heritage
43. Bangunan Kelab DiRaja Selangor (Kelab Selangor), Jalan Raja	Building	Colonial-Mock Tudor	Club Building	Heritage
44. Asrama Anak-anak Polis Lelaki PULAPOL (JKR 2003), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
45. Asrama Anak-anak Polis Wanita PULAPOL (JKR 1744-1755), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
46. Bangunan Cawangan Pancaragam PULAPOL (JKR 1878), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
47. Bangunan Cyberpool PULAPOL (JKR 1876), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
48. Bangunan Kantin PULAPOL (JKR 1879), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
49. Pejabat Kem Komandan, (Balai Pengawal) PULAPOL (JKR 1786), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
50. Pejabat Kewangan PULAPOL (JKR 2004), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
51. Pejabat Komandan PULAPOL (JKR 2019), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
52. Pejabat Seni Mempertahankan Diri PULAPOL (SMD) (JKR 1874), Jalan Semarak	Building	Colonial-No information	Institution	Heritage

Source: National Heritage Department, 2024

Table 4.3.4: Category 1 Heritage Buildings and Sites (continued)

Heritage Site	Site Category	Era - Architectural Style	Purpose	Heritage Category
53. Sekolah Batu Lama PULAPOL (JKR 2006), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
54. Bangunan Sukan (Gimnasium) PULAPOL (JKR 1877), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
55. Bangunan Tadika Kemas PULAPOL (JKR 1869), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
56. Bangunan Ujian Kecerdasan Fizikal (UKF) PULAPOL (JKR 1875), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
57. Bangunan Wisma Sukan PULAPOL (JKR 2076), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
58. Bengkel Senjata Pusat dan Persenjataan PULAPOL (JKR 2005), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
59. Berek Bujang Lelaki PULAPOL (JKR 341), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
60. Berek Bujang Lelaki PULAPOL (JKR 342), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
61. Berek Bujang Lelaki PULAPOL (JKR 394), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
62. Berek Bujang Wanita PULAPOL (JKR 386), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
63. Dewan Satu PULAPOL (JKR 2006), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
64. Gurdwara Sahib PULAPOL (JKR 2078), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
65. Kediaman Ajutan PULAPOL (JKR 1331), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
66. Kediaman Komandan (PULAPOL) (JKR 817), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
67. Kediaman Timbalan Komandan PULAPOL (Latihan) (JKR 1332), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
68. Kediaman Timbalan Komandan (Pentadbiran dan Garaj) PULAPOL (JKR 1333), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
69. Rumah Kelamin Kelas F PULAPOL (JKR 1541-1544), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
70. Surau PULAPOL (JKR 2085), Jalan Semarak	Building	Colonial-No information	Institution	Heritage
71. Tugu Polis Diraja Malaysia PULAPOL, Jalan Semarak	Monument	Colonial-No information	Institution	Heritage
72. Rumah Persekutuan, Jalan Sultan Hishamuddin	Building	Colonial-Utilitarian style	Government Office	Heritage
73. Stadium Negara, Jalan Stadium	Building	Post Independence-Modern	Stadium	Heritage
74. Bangunan Vivekananda Ashrama, Jalan Tun Sambanthan	Building	Colonial-Indian Renaissance	School	Heritage
75. Tokong Sin Sze Si Ya, Jalan Tun H S Lee	Building	Colonial-Traditional Chinese	Temple/ House of worship	Heritage
76. Sekolah Menengah Kebangsaan Maxwell, Jalan Tun Ismail	Building	Colonial-Moorish and Gothic	School	Heritage
77. Bangunan Chan She Shu Yuen	Building	Classic Chinese	Association Building	Heritage

Source: National Heritage Department, 2024



b. Category 2 Heritage Buildings

This category refers to buildings with historical significance or heritage architectural value that are in the process of gazettment under the National Heritage Act 2005 (Act 645). Generally, prior commitment has been agreed between the building owner and National Heritage Department (JWN).

The buildings listed also comprise those in the JWN inventory lists, which are expected to be gazetted during the planning period of the KLLP2040. Heritage Buildings or Sites in the Process of Gazettment are a list of buildings or sites that are current up to the year 2024. However, the gazettment of buildings or sites listed in this gazetting process is subject to the National Heritage Department (JWN) and the owner of the relevant building or site.

Renovations and alterations of building in Category 2 Heritage Buildings will be referred to the JWN and the KLCH Design Review Panel. There are five (5) buildings listed as Category 2 Heritage Buildings as shown in Table 4.3.5.

Table 4.3.5:
Category 2 Heritage Buildings and Sites in Kuala Lumpur, 2024

Heritage Site	Site Category	Era - Architectural Style	Usage	Status
1. Bangunan Arkib Negara Malaysia, Jalan Tuanku Abdul Halim	Building	Post Independence – No information	Institution	In gazetting process
2. Taman Botani Rimba Ilmu Universiti Malaya	Site	-	Garden	In gazetting process
3. Galeri Pembentungan IWK, Loji Rawatan Kumbahan Pantai 1, Jalan Pantai Dalam	Building	Pre-Independence- No information	Gallery	In gazetting process
4. Bangunan No. 2, Jalan Stonor (Badan Warisan Malaysia)	Building	Colonial- British Colonial	Association Building	In gazetting process
5. Kuil Sri Maha Mariamman, Jalan Tun H S Lee	Building	Colonial- Dravidian	Temple/ House of Worship	In gazetting process

Source: National Heritage Department, 2024



Location: Jalan Tuanku Abdul Rahman
A row of old shophouses on Jalan Tuanku Abdul Rahman (near SOGO Complex) that have heritage significance and are suitable for preservation.



Location: Taman Botani Perdana Kuala Lumpur
Taman Botani Perdana Kuala Lumpur covering an area of 91.6 hectares, formerly known as Taman Tasik Perdana Kuala Lumpur was established in 1888 and gazetted as a National Heritage in 2018.



c. Old Buildings of Heritage Significance

Old buildings of heritage significance refers to buildings that have some elements or characteristics of architectural or historical significance recommended for preservation to form the heritage character of the city of Kuala Lumpur. The importance of conservation for these buildings is under the jurisdiction of the KLCH Design Review Panel. Most of the buildings in this category are old shophouses with distinct heritage designs and characters and are recommended for preservation.

3. Heritage Sites

This is a site or location identified as having significant historical value to the culture of the community. It refers to any site that remains in a specific location and cannot be relocated elsewhere, such as a historical parks, natural environments and old burial ground.

A heritage site refers to the site itself with or without buildings to be preserved for its significance.

Cultural heritage sites should be considered as the following entities:

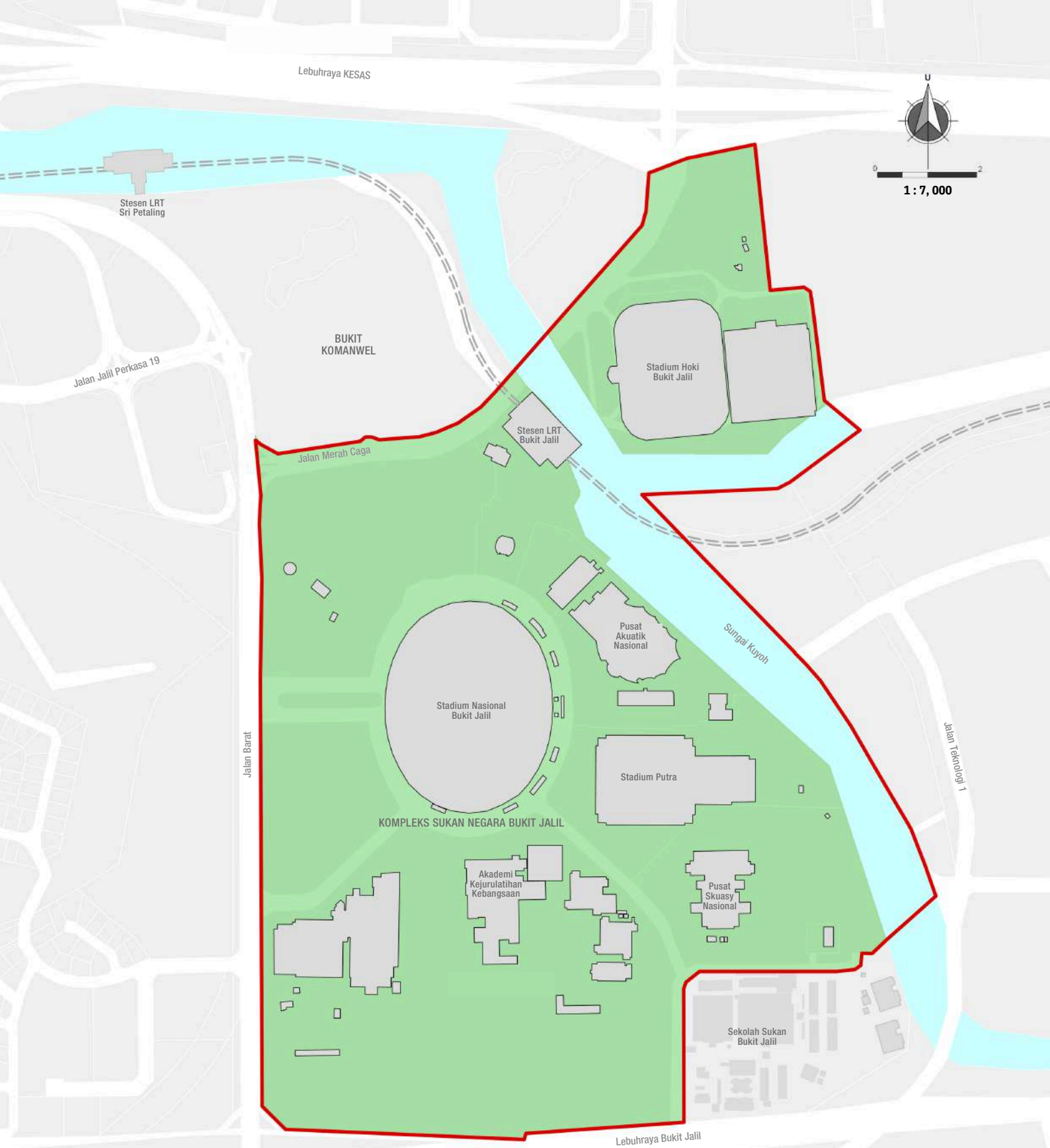
- Permanent and non-renewable;
- Valuable; and
- Very sensitive.

Whenever a heritage site and its surroundings are threatened by the effects of development, priority should be given to preserving the physical form of the site. Four (4) heritage sites are listed and identified in Kuala Lumpur, as shown in Table 4.3.6.

Table 4.3.6:
Heritage Sites in Kuala Lumpur, 2024

Heritage Site	Category
1. Taman Botani Perdana (Taman Tasik Perdana)	National Heritage
2. Padang Kelab Selangor (Dataran Merdeka)/ Tapak Tiang Bendera Malaya Dinaikkan Buat Pertama Kali	National Heritage
3. Taman Botani Rimba Ilmu, Universiti Malaya	In the gazettement process by JWN
4. Stadium Nasional Bukit Jalil	Historical Site

Source: Derived from National Heritage Department and KLCH, 2024



Note :
Plans and figures are in the form of diagram/ indicative only.

FIGURE 4.3.10 | Heritage Site Plan - Stadium Nasional Bukit Jalil

Legend :

Heritage Zone
● Heritage Site

Heritage Building
○ Non-Heritage Building

Others
— Heritage Zone Boundary

4-3.3 Heritage Zone Planning Control

Heritage zone planning control refers to the conditions and regulations used to determine the permitted limits for development in the Heritage Zone. The focus components are buffer area, intensity control (number of storeys), approval of Commissioner of Heritage, Heritage Impact Assessments (HIA) report and engineering report, approval as well as general conditions. The details of the control are presented in Table 4.3.7.

Table 4.3.7: Planning Control Components for Heritage Zones

Component	General Guideline	Primary Heritage Zone			Secondary Heritage Zone			Special Character Zone		
		Category			Category			Category		
		1	2	3	1	2	3	1	2	3
Buffer Area	Comply with the provision of a buffer zone within 200 metres of Category 1 Heritage Buildings.		✓	✓		✓	✓		✓	✓
	Comply with buffer zone requirements. The specific conditions will be decided by the Commissioner of Heritage in accordance to the physical assessment on the site and adjacent existing developments.	✓			✓			✓		
Intensity Control (Number of Storeys) (Refer to Chapter 3-3: Height Control of Commercial Terrace)	Maintain the building scale, height and shape of the building based on the original features.	✓			✓			✓		
	Height limit of ten (10) storeys for shophouses building, infill sites and redevelopment within Special Character Zone at Jalan Tuanku Abdul Rahman, Jalan Masjid India, Lorong Haji Taib, Jalan Chow Kit, and Lorong Bunus. The original façade of the modified shop houses should be maintained and subject to specific conditions which allowed.								✓	
	Height limit of seven (7) storeys for shophouse buildings, infill sites and redevelopment within the heritage zone within Jalan Tun Sambanthan, Jalan Sultan Abdul Samad, Jalan Thambipillay, Jalan Vivekananda, Jalan Tun Tan Cheng Lok, Jalan Hang Kasturi, Jalan Petaling, and Jalan Hang Lekiu. The original façade of the modified shophouses must be maintained and subject to the specific conditions allowed.					✓				
	Height limit of up to seven (7) storeys is limited to building areas on Jalan Doraisamy (next to the Sheraton Hotel) and Jalan Kamunting. The original façade of the modified shophouses must be maintained and subject to the specific conditions allowed.								✓	
	Height limit of up to three (3) storeys is limited to the front building area of SOGO Complex, Jalan Tuanku Abdul Rahman (Lot 22-36, Lot 190-191, Lot 20000-20002).								✓	✓
	Height limit of up to three (3) storeys is limited to shophouses building on Jalan Suasa, Jalan Suasa 3, 4 and 5, Pekan Sg Besi.					✓				
	Maintain a height limit of three (3) storeys is limited to the Old Gian Singh building area on Jalan Tun Perak (from Lebu Ampang Junction to Masjid Jamek LRT Station).					✓			✓	✓
	The determination of height for new development of individual lots shall be in accordance with the allowable plot ratio.			✓			✓			✓

Table 4.3.7: Planning Control Components for Heritage Zones (continued)

Component	General Guideline	Primary Heritage Zone			Secondary Heritage Zone			Special Character Zone		
		Category			Category			Category		
		1	2	3	1	2	3	1	2	3
Commissioner of Heritage's Approval	Any changes and additions to Category 1 Heritage Buildings must be approved by the Commissioner of Heritage.	✓			✓			✓		
	Any application for a Development Order (DO) within 200 metres of Category 1 and 2 Heritage Buildings must be referred to the Commissioner of Heritage under Section 40, National Heritage Act, 2005 (Act 645).	✓	✓		✓	✓		✓	✓	
HIA Report and Engineering Report	The requirement for a Heritage Impact Report (HIA) for any renovation and alterations to the Heritage Buildings is subject to the Commissioner of Heritage under Section 40, National Heritage Act, 2005 (Act 645).	✓	✓		✓	✓		✓	✓	
	An Engineering Report is required for alterations of building structures and demolition.	✓	✓	✓	✓	✓	✓	✓	✓	✓
Approval	Application for approval of any building demolition within the Heritage Zone.	✓	✓	✓	✓	✓	✓	✓	✓	✓
	Application for approval of the restoration of damaged or collapsed structures in the Heritage Zone.	✓	✓		✓	✓		✓	✓	
	Application for approval of all new developments within the Heritage Zone.	✓	✓	✓	✓	✓	✓	✓	✓	✓
	Application for approval of adaptive reuse of Heritage Building.	✓	✓	✓	✓	✓	✓	✓	✓	✓
General Conditions	Comply with the conditions under Section 40, National Heritage Act 2005 (Act 645).	✓			✓			✓		
	Comply with the Urban Design Guidelines Kuala Lumpur City Centre (UDGKL).	✓	✓	✓	✓	✓	✓	✓	✓	✓
	Ensure that any development activities does not diminish the significant value of the Heritage Zone.	✓	✓	✓	✓	✓	✓	✓	✓	✓
	Requires regular maintenance and monitoring of heritage buildings.	✓			✓			✓		
	The need for the conservation of heritage buildings is decided by the KLCH Design Review Panel.		✓	✓		✓	✓		✓	✓
	New development must comply with design requirements to maintain its significance as a Heritage Zone.	✓	✓	✓	✓	✓	✓	✓	✓	✓
	New development in this zone must be referred to the DBKL Design Review Panel and related agencies for approval.	✓	✓	✓	✓	✓	✓	✓	✓	✓

Legend:


CATEGORY 1
Building Category 1



CATEGORY 2
1. Building Category 2
2. Infill Site Development (commercial terrace)
3. Redevelopment



CATEGORY 3
1. New Development of Individual Lot
2. Old Building of Heritage Significance

4-3.4 Heritage Area Character Design Guide

The Heritage Area character design guide encompasses the Primary Heritage Zone, Secondary Heritage Zone and Special Character Zone. The details components that require attention for development activities within the area are shown in Table 4.3.8.

Most of the old buildings in Kuala Lumpur are about 100 years old or more and have architectural value and historical heritage that must be preserved according to specific guidelines.

In addition to the Urban Design Guidelines Kuala Lumpur (UDGKL), a general guideline for the character design of heritage areas must be prepared. This is to control the continuity of historical buildings in the Kuala Lumpur Heritage Zone ensuring that the 'sense of place' does not disappear and align with the designated Heritage Trail theme.

The design of the building and its surroundings must reflect the heritage identity and image based on the suitability of the development whether it involves commercial buildings, institutions, public transport terminals and others.

Visual quality is crucial to heritage preservation. The design and placement should not detract from the view and architectural character of an old building. Aspects that must be considered in the preparation of the character design guidelines of the heritage area are as follows:

1. Ensure that outstanding universal values are not disturbed;
2. Consider the heritage significance of the building or area;

3. Comply with relevant guidelines that preserve the heritage and historical value of the building;
4. Basic principles for conservation of heritage buildings:
 - a. Retain the elements of authenticity and integrity which define the identity of heritage buildings;
 - b. Retain all Category 1 Heritage Buildings;
 - c. Retain the original internal structure;
 - d. Retain the original surface of the building by not painting on previously unpainted surfaces; and
 - e. Retain any part of the building with new building materials.
5. Retain the original pattern on any part of the heritage building; and
6. Consider the visual impact of a newly constructed building through:
 - a. Comply with the height requirements set for a particular area;
 - b. Create harmony among nearby heritage buildings in terms of image or setting as a Heritage Zone or Heritage Trail Zone;
 - c. Avoid excessive prominence that can diminish existing heritage buildings or monuments; and
 - d. Consider views from various angles including from the main road, ground level or pedestrian level and focal areas.

BRIEF INFO

GUIDELINES RELATED TO HERITAGE AREAS



Guidelines on art elements for the development of Kuala Lumpur as a city of art and culture.



The Urban Design Guidelines Kuala Lumpur (UDGKL) is an example of a specific guideline that can be used as a reference to control the development of heritage areas in Kuala Lumpur City Centre.

Table 4.3.8 lists the main components for building character control guidelines in Primary Heritage Zones, Secondary Heritage Zones, and Special Character Zones. Meanwhile, Table 4.3.9 details the Heritage Zone character control guide.

Components that give a unique character to heritage areas include architectural style and building design, building materials, space configuration, building placement and setbacks, building height and scale, landscape elements, as well as environmental aesthetics.

BRIEF INFO

HERITAGE ZONE CHARACTER CONTROL



Heritage Zone Character Control involve

14 MAIN COMPONENTS

Table 4.3.8: Main Components of Heritage Zones Character Control Guide

01 Regeneration and Infill within Heritage Zones	07 Electrical Cables, Utilities or Plumbing
02 Orientation of the Building Facing the Local Road within the Heritage Area	08 Needs of Age and Disabled-Friendly
03 Adaptive Reuse of Buildings	09 Security Surveillance
04 Building Design Elements	10 Integration of Heritage and New Buildings
a Building Façade Control	11 Entrance Gate to the Heritage Zone
b Envelope Control	12 Landscape Elements
c Building Scale	13 Street Furniture
d Roof	14 Encouraged Type of Activities
e Heritage Building Colour Scheme	a. Al-Fresco Activity Area
f Floor Finish	
g Five-Foot Walkways and Verandah Ways	
05 Signboard or Advertisement Signboard	
06 Heritage Building Lighting Elements	

Table 4.3.9: Heritage Zones Character Control

Component	Control Actions
Regeneration and Infill Development within Heritage Zones	Regeneration must consider the background and history of the site.
	Buildings or sites that do not have heritage architectural significance can be demolished and replaced with a harmonious new development or upgraded with the provision of a 'false façade' adapted to the image and character of the area.
	Old buildings in the Heritage Zone that are to be demolished must have a verification report or building structure control approval from a certified engineer.
	Redevelopment in the Heritage Zone must follow the setting or scale and maintain the original landscape of the area.
	The composition of the new building façade must consider the design aspects, materials used and textures of the adjacent buildings.
	New development needs to match the scale of adjacent buildings and overall scale of buildings within the Heritage Zone.
	For old buildings that are to be demolished, a measured drawing must be provided for KLCH reference and records.
Orientation of Building Facing the Local Road in the Heritage area	The orientation of a new building must not obstruct the view towards the heritage building in order to highlight the 'visual exposure' to an open area, main road or facing the river.
	New buildings must consider public accessibility to the river reserve/ back lane/ plaza that have been upgrade for public walkways within the heritage zone.
	A new free-standing building facing and adjacent to a shophouse building in the heritage area must ensure harmony with the adjacent building in terms of height and activities following the heritage building in front and adjacent to it.
	Developments that leads to the monopoly of visual, access and privacy of specific individuals in the heritage area should be avoided.
Adaptive Reuse of Buildings It is the process of repurposing an existing building for a new function, different from its original use. It is a strategy aimed at extending the lifespan of heritage buildings by giving them new, competitive purposes, thereby preventing their deterioration.	Must be sensitive and consider the historical value, architectural significance, and character of the heritage area.
	Maintain the profile of the shophouse building with the original design (horizontal rhythm) including balconies, ventilation, roof design, stairs, doors, and windows.
	An increase of potential through maximum use of interior space that adds value to heritage or old buildings is encouraged.
	All activities must comply with the permissible CULB2025.
	Ensure that changes in building fabric do not alter the original features of heritage elements, structures and have a negative impact on the significance of heritage buildings and their original position.

Table 4.3.9: Heritage Zones Character Control (continued)

Component	Control Actions
Building Design Elements The design of buildings within the heritage zone must be harmonious with the climatic conditions and ethnic influences that are appropriate to the era of its construction.	<p>The design of new buildings should emphasis on the visual and functional aspects of the Heritage Zone and surrounding buildings.</p> <p>The design of buildings at intersections or important buildings must have a strong character and identity through an emphasis on corner treatment.</p> <p>The design of new buildings must be harmonised with adjacent development, local physical and socio-cultural characteristics.</p> <p>Planning of layout, design of buildings and surroundings within the Heritage Zone must create harmonious social interaction and have a local image.</p> <p>Heritage architecture such as roofs, windows and doors are designed to suit with the climate and harmony with ethnic influences in line with the era of construction.</p>
a. Building Façade Control Façade refers to the exterior or surface that stands out the most on either the front or side of the building facing the pedestrian path. Façade conservation components include conservation from the ground floor, upper floor openings and consist of the control of horizontal and vertical lines such as walls, parapet lines, fascia lines or party wall pilasters.	<p>Preserve and conserve the decorative elements of the original façade of old buildings in the Heritage Zone.</p> <p>The use of appropriate materials and methods in the process of restoration or improvement of heritage building façades is highly encouraged.</p> <p>The installation of roller shutters on the façade of heritage buildings is not recommended.</p> <p>The installation of air conditioning pipes and ducts on heritage building façades should be avoided while installation at the back of the building must be covered neatly.</p>
b. Envelope Control Three (3)-dimensional envelope control involves height control, building lines, building setback, parapet lines, line of sight, and main roof.	<p>Envelope control should be applied in the area of old shophouses with heritage significance.</p> <p>Envelope control in the heritage zone should observe the height control permitted that encompasses the number of floors and ground floor.</p> <p>Coordination with Urban Design Guidelines Kuala Lumpur City Centre (UDGKL).</p>
c. Building Scale The original scale of heritage buildings should be maintained. New buildings should be balanced and sensitive to the surrounding heritage buildings in terms of height, size and design.	<p>Block massing buildings must be distributed harmoniously so as not to form large blocks that will change the urban fabric in the Heritage Zone.</p> <p>The scale of a new building should consider the existing development to create a harmonious view of the surroundings within the Heritage Zone.</p>
d. Five-Foot Walkways and Verandah Ways -Foot Walkways and Veranda Ways Five-foot walkways are an important element in building design and serve as paths and shade areas. Verandah ways are covered walkways on the side of the road.	<p>The design, width and level of the walkways should be seamless, uniform and free of obstacles for the comfort of pedestrians.</p> <p>Maintain the originality or restore the design and decorative features on the Five-foot walkways with the same or suitable building materials.</p> <p>The Five-foot walkways of old shophouses must be maintained and integrated with the adjacent new development.</p> <p>Comply to the Universal Design Guidelines.</p>

Table 4.3.9: Heritage Zones Character Control (continued)

Component	Control Actions
e. Roof A roof is a structure that covers the top of a building, includes all materials and constructions that provide protection against weathers, temperatures and winds.	Retain or restore the main structure of the original roof and traditional roofing materials on heritage buildings. The replacement of pitch roofs with flat concrete roofs on heritage buildings is not recommended. The replacement for original roof tiles shall be of the same material or material that is as similar as possible to the profile and slope of the original roof. Repainting of roof tiles is not recommended.
f. Heritage Building Colour Scheme The use and selection of colours must be appropriate to the character, activities, and surroundings of the Heritage Zone.	The colour scheme should harmonise and be in line with the character of the building, surroundings and streetscape of the heritage area. The use of pastel colours is allowed subject to an analysis of paint, character of the building and other buildings in the vicinity. Use of the same type of paint (limewash paint or alkyd-based paint) and the original colour is highly recommended. Repaint of Category 1 Heritage Buildings in accordance with the Conservation Guidelines of the National Heritage Department (JWN).
g. Floor Finish	Retain or restore the original floor level and structure including primary timber beams, timber floor tie beams and existing timber flooring. Maintain or restore the original floor finish. Repainting the original floor or replacing it with a concrete floor is not recommended.
Signboard or Advertisement Signboard Signboards on business premises serves as an introduction to the activities being carried out and as an attraction to the public.	Retain or restore the original traditional signs on heritage buildings is strongly encouraged. Control size, placement and number of signboards to avoid obstruction on the view of the building façade in the Heritage Zone. The installation of large-scale advertising signboards and covering the façade of the building or ventilation spaces on the shop building is not allowed. The signboard must comply with established guidelines and harmony with the character of the Heritage Zone.
Heritage Building Lighting Elements Proper lighting that focuses on heritage buildings with unique architectural elements in the Heritage Zone will reinforce the character of the building at night.	LED floodlights are permitted to highlight the heritage building façade. The installation of lights on the façade of a heritage building must not disturb the fabric of the building. The lighting can be installed at an angle and the lamp placed in an obscure area. The use of colourful light bulbs, chasing lights or shape lights is not recommended on the façade of buildings in the heritage zone. The lighting design must match the era and character of the Heritage Zone. Lighting must heed aesthetics and safety aspects at night. Lighting elements must following the Kuala Lumpur Lighting Master Plan and the Detailed Lighting Guidelines of Kuala Lumpur City Centre.

Table 4.3.9: Heritage Zones Character Control (continued)

Component	Control Actions
Electrical Cables, Plumbing and Utilities	The installation of electrical cables and air-cooling compressor units on the building façade is not recommended. If necessary, treatment such as finishing louvres can be provided.
	Electrical cables and pipes installed on the back wall should be neatly covered.
	Utilities such as feeder pillars or substation buildings that obstruct the view of heritage buildings are not recommended.
Needs of Age and Disabled-Friendly Building design must take into account the needs and comfort of various ages and be disability-friendly.	The provision of support facilities such as parking, lifts, toilet facilities, stairs and directions should be practical, not burdening physical ability, as well as user-friendly.
Security Surveillance Surveillance measures and security protection in open areas should be provided in locations that do not disturb the view and are able to overcome the vandalism problem of heritage buildings.	Consider security elements by providing open, unobstructed spaces and clear visibility levels to create a safe and crime-free environment.
	Provision of security control and CCTV facilities in strategic areas as well as public focal points.
Integration of Heritage and New Buildings Integration between heritage buildings and new buildings will lead to architectural diversity. A harmonious combination can further increase the attractiveness of Kuala Lumpur.	The design of new buildings must consider the adjacent buildings and surroundings to create continuity as well as harmony between buildings.
	The design should be harmonious with the existing development in the adjacent lots and consider the local physical as well as socio-cultural characteristics.
Entrance Gate to Heritage Zone An entrance gate serves as a gateway or access road. Aspects of beautification and character of the gateway to the heritage area must be highlighted.	The entrance gate to the Heritage Zone must have a sense of welcome and a distinctive character.
	The theme and character of the entrance gate must be appropriately highlighted through specific street furniture design, heritage building lighting elements, walkways with special materials, harmonious landscape elements and activities that attract people to the Heritage Zone.
	Any form of business promotion or advertisement at the main entrance gate to the Heritage Zone is not recommended and must be referred to KLCH.
Landscape Elements Landscape elements should be the main aspect and be planted regularly to create a consistent visual sight line within the Heritage Zone.	The planting of shrubs and trees with minimalist concepts in front of heritage buildings is encouraged.
	Landscape maintenance and height control are important to avoid obstruction of the view towards heritage buildings.
	The selection of tree species must be approved by the KLCH Technical Department and related agencies.

Table 4.3.9: Heritage Zones Character Control (continued)

Component	Control Actions
Street Furniture Elements and components are provided along the route for various purposes. Design and placement should consider aesthetics, visual identity, functionality, pedestrian mobility and public safety.	The design of street furniture, pedestrian walkways and materials used must have an impact on the heritage building environment. Street furniture elements must be appropriate to the character and architectural era of heritage buildings (examples: lamp posts, wayfindings, information plaques, litter bins, bollards, benches, and others). Street furniture must be placed in safe and user-friendly locations.
Types of Activities Encouraged The competitiveness of a place depends on how it is exploited and activities that are encouraged to ensure it has its own advantages over other places.	The activities encouraged must not affect the preservation of character and identity of the Heritage Zone. Activities that reflect heritage identity such as traditional skills, local food, sale of crafts, culture and art are encouraged. All activities must comply with the permissible CULB2025.
a. Al-Fresco Activity Area To encourage vibrant and active environment, Al-Fresco activity is allowed within the Heritage Zone and needs to comply with the prescribed guidelines.	Double frontage shophouses are encouraged to activate service lanes for activities that support the Heritage Zone and strategic areas such as River of Life (RoL) and important nodes. Comply with Al-Fresco Dining Guidelines.







Source: Kuala Lumpur City Hall

The planning control layer for Height Control Zone Surrounding the Istana Negara refers to the additional control mechanism to the height or intensity control guidelines of the building. Any building located within the vicinity of the Istana Negara, specifically within a range of 800 metres and 1 kilometre from “Balai Ketibaan Istana Negara” (National Palace Arrival Hall) boundary as shown in Figure 4.4.1 is included in this height control. This control is to preserve open vistas from and towards the Istana Negara itself.

4-4.1 Objectives of Planning Control Layer for Height Control Zone Surrounding the Istana Negara

The objective of this height planning control layer is to enhance the prominence and uphold the dignity of the Istana Negara as a symbol of the national government. In addition, it aims to ensure the tranquility and privacy of the palace are controlled against high-intensity development in the surrounding area.

4-4.2 Aspects of Planning Control Layer for Height Control Zone Surrounding the Istana Negara

This planning control involves an area within a radius of 800 metres and 1 kilometre from the boundary of the Istana Negara and from “Balai Ketibaan Istana Negara” (National Palace Arrival Hall) which face five (5) landmarks of Kuala Lumpur as follows:

1. Menara Berkembar Petronas/ Menara KLCC (Petronas Twin Tower);
2. Menara Kuala Lumpur (Kuala Lumpur Tower);
3. Menara The Exchange 106;
4. Menara Merdeka 118 (Merdeka 118 Tower); and
5. Bangunan Parlimen.

However, this height control is subjected to government regulations from time to time.

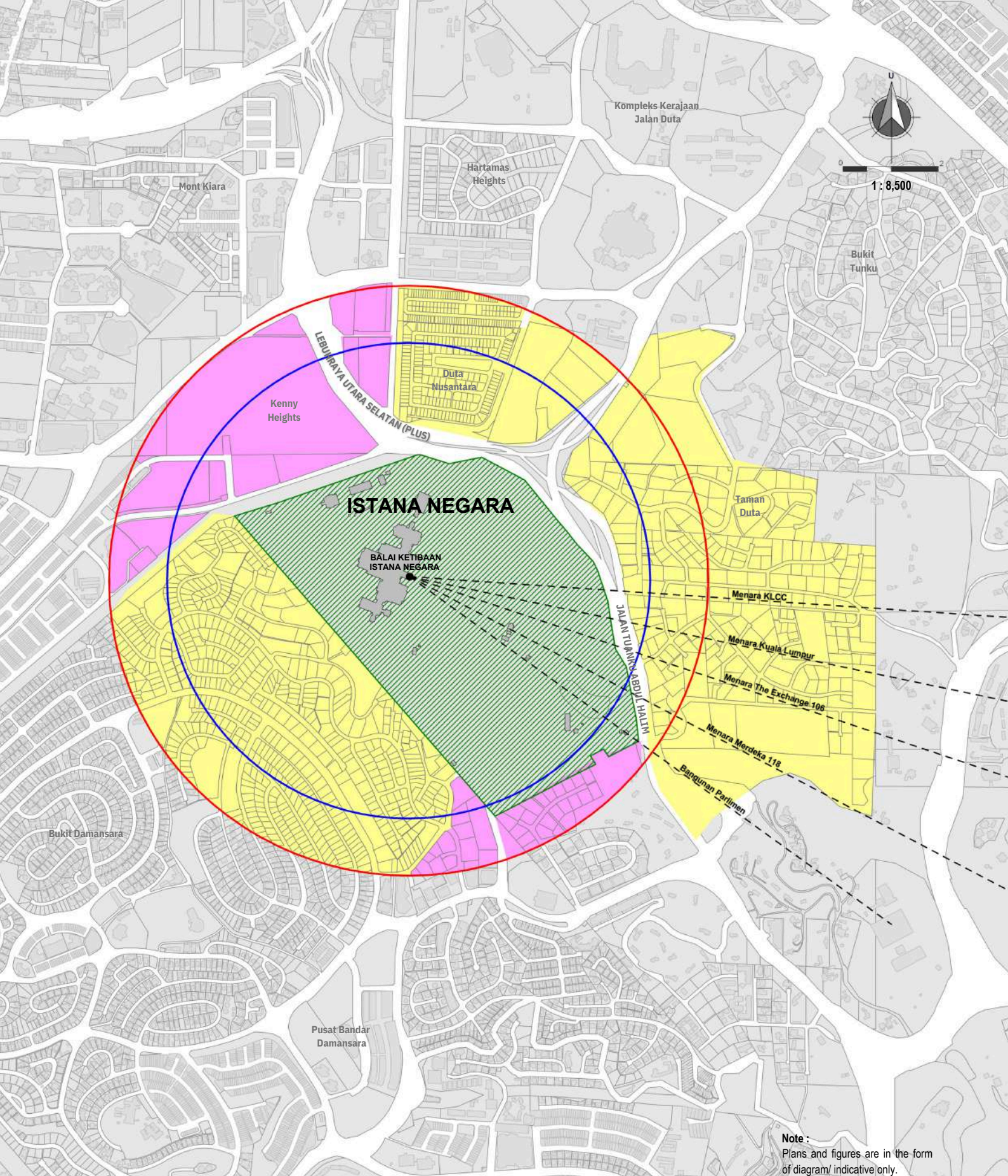


FIGURE 4.4.1 | Planning Control Layer for Height Control Zone Surrounding the Istana Negara Map

Legend :

Altitude Zone

- Zone 1 : Height should maintain character of existing buildings around
- Zone 2 : Existing & Committed development subject to a height of 400 feet AMSL (radius 1) & 500 feet AMSL (radius 2)

● Boundary Istana Negara

— Radius 2 (1 kilometer from the Palace Building) \leq 500 AMSL

— Radius 1 (800 meters from the Palace Building) \leq 400 AMSL

Other

— Main Road

Note :
Plans and figures are in the form of diagram/ indicative only.

The details of height control zone surrounding the Istana Negara are as follows:



Distance 800 metres (1/2 mile) from the Istana Negara building. The building height should not exceed 400 feet AMSL.

- Retention of existing height development that is not exceeding 400 feet AMSL based on the Garis Panduan Kawalan Had Ketinggian bagi Pembangunan di Sekitar Rizab Istana Negara (Pindaan 2)
- The proposed development within a radius of 800 metres is an existing developments (low rise) and a committed developments with heights exceeding 400 feet AMSL.
- This area is fully controlled by not allowing approvals above 400 feet AMSL.



Distance 1 kilometre from the Istana Negara building. The height of the building does not exceed 500 feet AMSL.

The development that will be developed in the areas of Jalan Lembah Ledang, Jalan Semantan 1, Jalan Semantan 2 and Jalan Bukit Ledang must not exceed 500 feet AMSL and is subject to compliance with technical requirements of planning, safety aspects and certification by the agencies involved as well as the development design does not affect the prominence of the Istana Negara.

- This area consists of existing and committed development that exceeds 400 feet of AMSL.



Additional Areas of Height Control

- The area of Taman Duta, Bukit Tunku and the control of the Istana Negara view will be maintained and controlled according to the existing height and character of these areas.

Kuala Lumpur will become a developed city by 2040 where the construction of high-rise buildings is expected to become a trend for various parties to form their respective corporate identities. The new high-rise buildings will be the main element of urban design in the formation of Kuala Lumpur's image as an international city.

The Visual Line of Sight refers to additional control over the height, design or orientation of new buildings located within the identified line towards iconic landmarks in Kuala Lumpur. KLCH must play a significant role in ensuring that new building constructed within the identified visual line of sight preserve the views of Kuala Lumpur's iconic landmarks.

4-5.1 Objectives of Planning Control Layer for Line of Sight Towards Iconic Landmarks

The rapid growth of the city with the construction of high-rise buildings, reflects the positive development of the city. While the construction of new buildings is essential in Kuala Lumpur city centre, it is important to implement view control measures towards landmarks to ensure the significance of existing iconic building landmarks as iconic symbols of Kuala Lumpur remains preserved.

4-5.2 Location of Planning Control Layers for Line of Sight Towards Iconic Landmarks

Iconic landmarks that have been identified are the Menara Kuala Lumpur (Kuala Lumpur Tower), Menara Berkembar Petronas (Petronas Twin Towers) and Menara Merdeka 118 (Merdeka 118 Tower). KLLP2040 identifies six (6) view points on Kuala Lumpur's iconic landmarks that have the potential to be preserved. These six (6) view points are from the locations as shown Table 4.5.1 and Table 4.5.2.

Table 4.5.1:

Location View Points Towards Iconic Landmarks

Location of View Points
a. From Taman Tasik Titiwangsa (Titik 1);
b. From Taman Tasik Titiwangsa (Titik 2);
c. From Dataran Merdeka;
d. From Istana Negara;
e. From Mayor's Hill; and
f. From Taman Tasik Ampang Hilir.



4-5.3 Determination of Iconic Landmark

Kuala Lumpur has a number of buildings or monuments with distinctive designs and characteristics that are an important image or identity for the city and Malaysia. The determination of iconic landmarks in Kuala Lumpur is based on identified criteria that include physical aspects, visual quality and economic value.

1. Definition of Iconic Landmark

Iconic Landmark means a building or monument that is easily recognisable with significant or important features in terms of design, visual quality and contrast with other buildings or elements in its surroundings.

2. Criteria of Iconic Landmark

The designation of iconic landmarks in Kuala Lumpur is based on nine (9) criteria as shown in Figure 4.5.1.

Figure 4.5.1: Criteria of Iconic Landmark

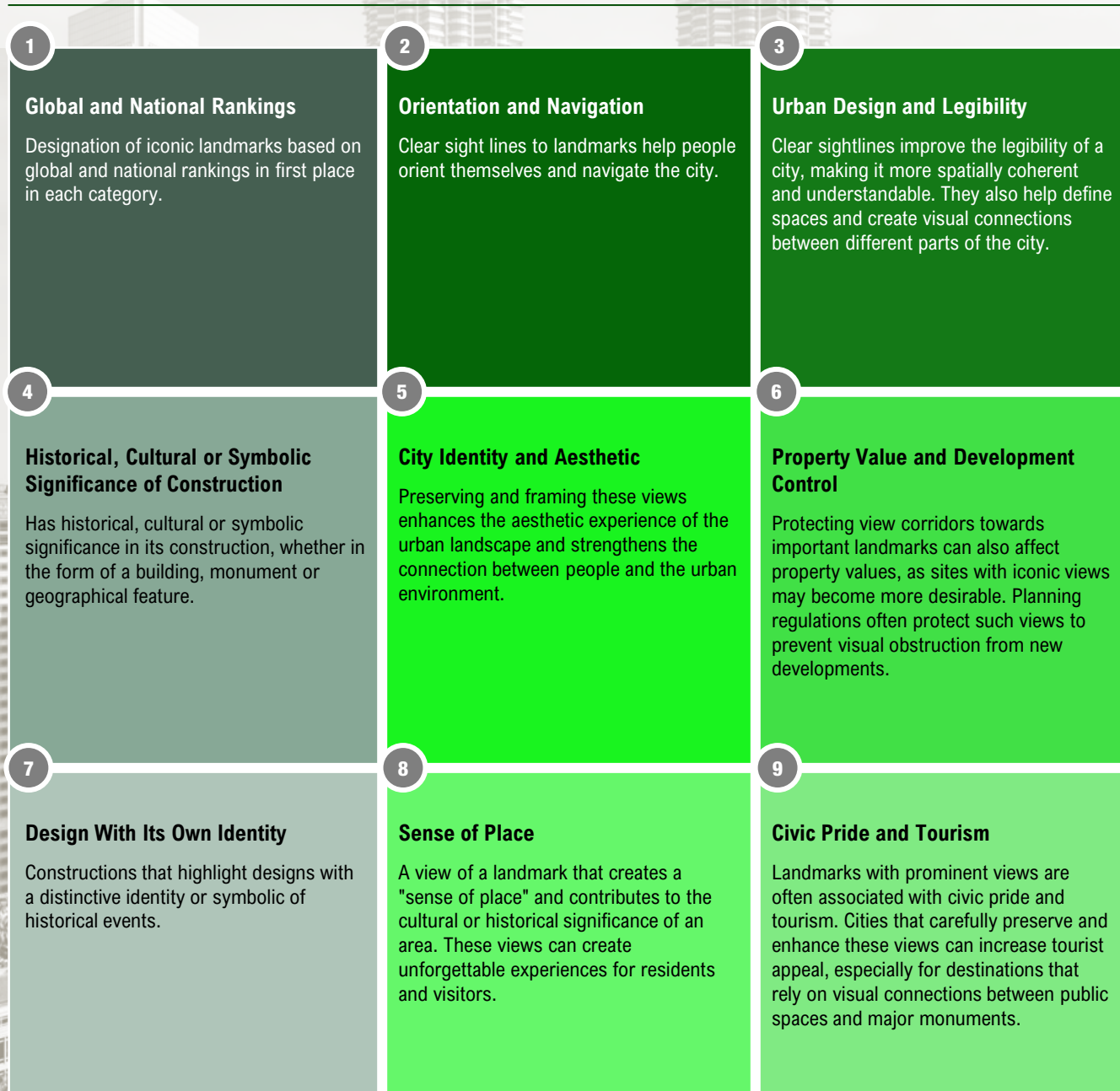


Table 4.5.2:
 Line of Sight Towards Iconic Landmarks from View Points of Taman Tasik Titiwangsa and Dataran Merdeka

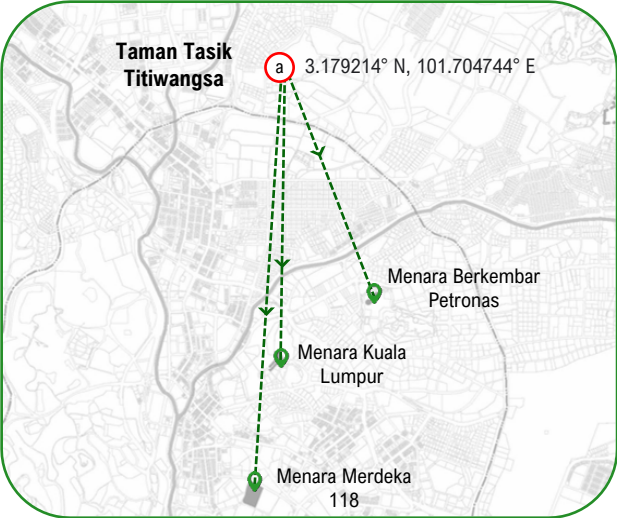

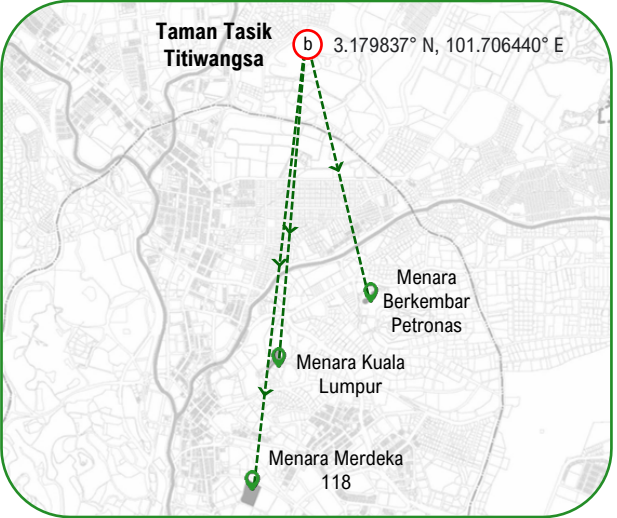

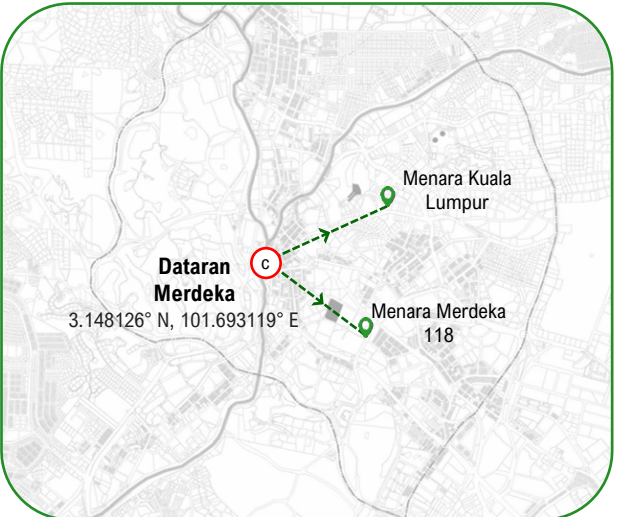
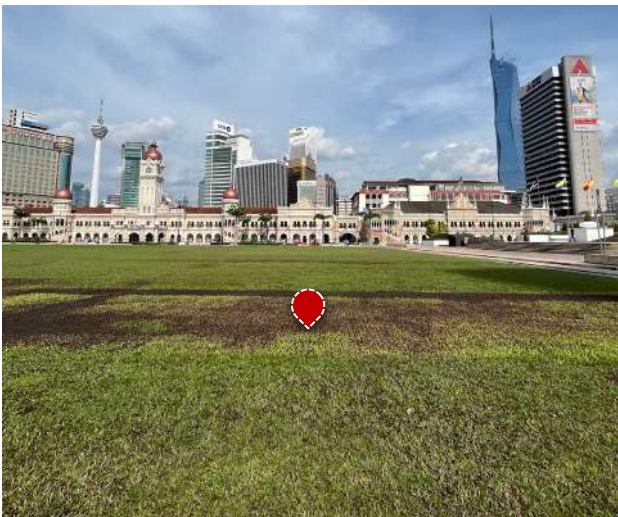
Line of Sight	Location of View Point
<p>a. TAMAN TASIK TITIWANGSA (POINT 1)</p> 	
<p>b. TAMAN TASIK TITIWANGSA (POINT 2)</p> 	
<p>c. DATARAN MERDEKA</p> 	

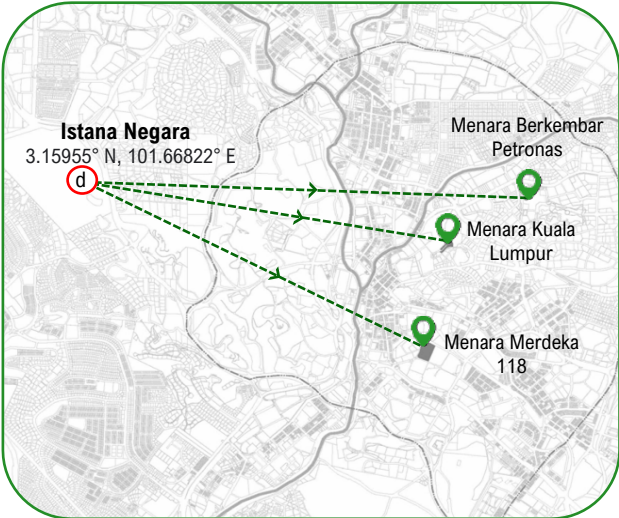

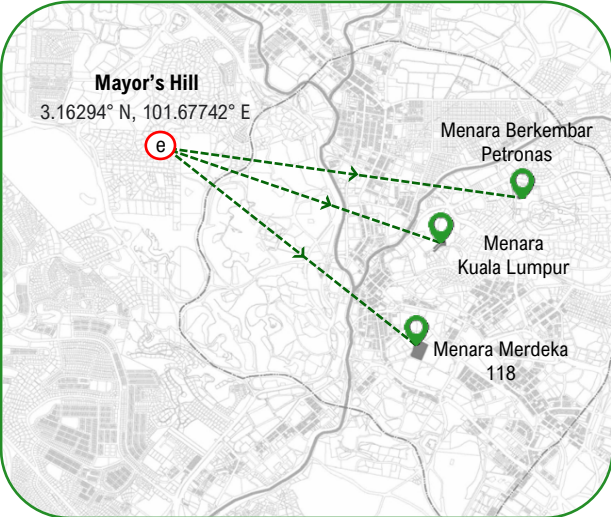

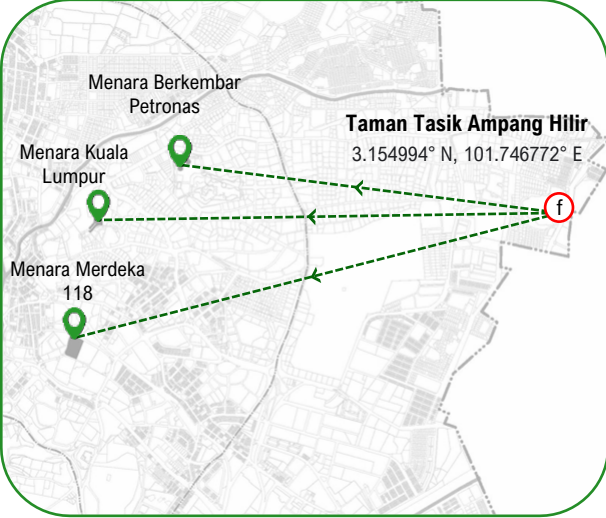

Table 4.5.3:

Visual Towards Iconic Landmarks from View Points of Taman Tasik Titiwangsa and Dataran Merdeka

View Towards Landmark
 <p>Location: Taman Tasik Titiwangsa (Point 1)</p>
 <p>Location: Taman Tasik Titiwangsa (Point 2)</p>
 <p>Location: Dataran Merdeka</p>

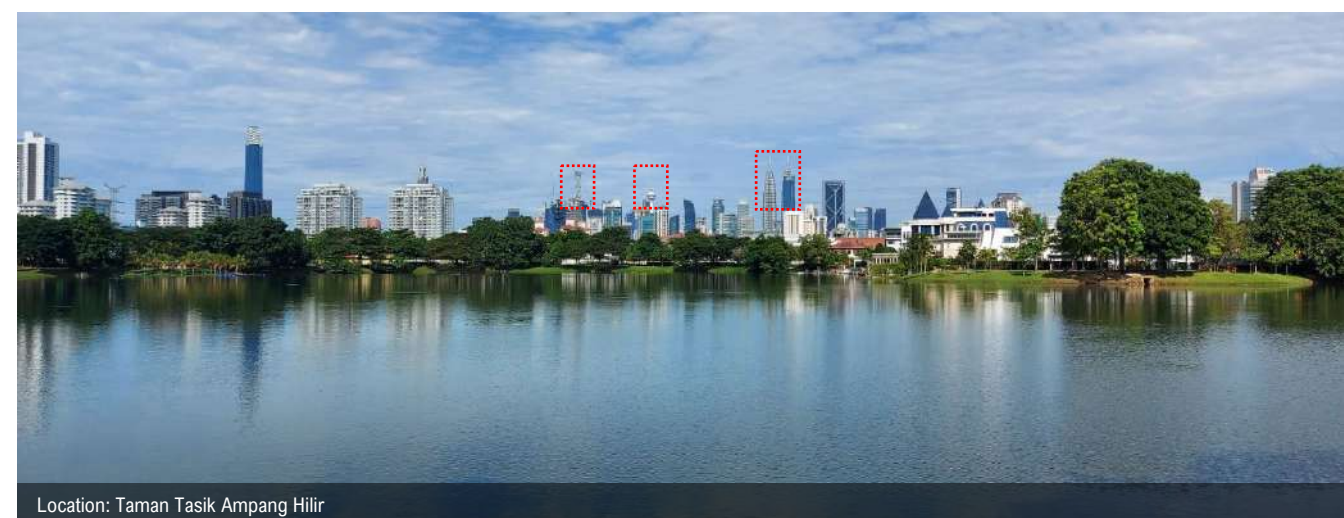
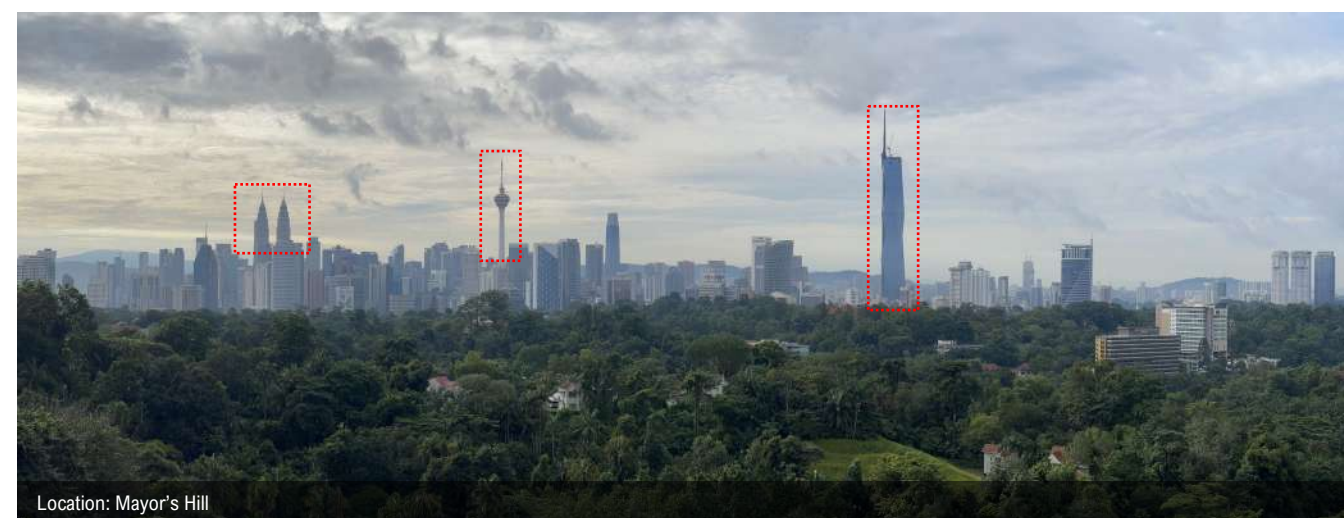
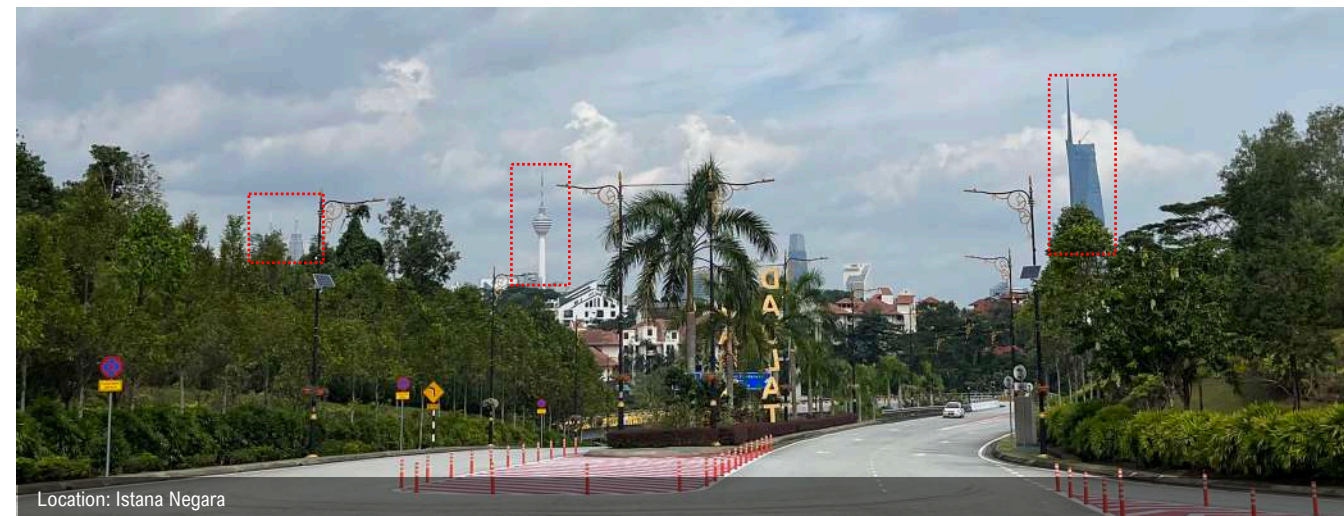
Table 4.5.4:

Line of Sight Towards Iconic Landmarks from View Points of Istana Negara, Mayor's Hill and Taman Tasik Ampang Hilir

Line of Sight	Location of View Point
<p>d. ISTANA NEGARA</p> 	
<p>e. MAYOR'S HILL</p> 	
<p>f. TAMAN TASIK AMPANG HILIR</p> 	

Visual Towards Iconic Landmarks from View Points of Istana Negara, Mayor's Hill and Taman Tasik Ampang Hilir

View Towards Landmark



4-5.4 Aspects of Planning Control for Line of Sight Towards Iconic Landmarks

The mechanism to regulate the construction of new buildings involves controlling the minimum visibility limit of iconic landmark buildings from the identified location point. The recommended level of general visibility for identified iconic landmark buildings is 30 percent or equivalent to 1/3 of the building height. The planning control aspect can be implemented through three (3) forms namely height, design or building orientation.

Planning control for areas identified within the line of sight involves additional requirements during the planning permission application approval stage. Among the aspects that need consideration are as follows:

1. The construction of a proposed building with horizontal orientation in the area of the line of sight that obstructs the view towards the iconic landmark should be avoided;
2. Planning approval applications for new developments in plots within the line of sight areas must be accompanied by additional document requirements for approval purposes:
 - i. A simulation analysis of the structural view of the proposed building to the visual of the iconic landmark; and
 - ii. Justification of the impact of the development on the visual towards the iconic landmark.
3. Only applications with minimal visual impact on iconic landmarks will be considered.

4-5.5 Planning Control Layer Guide for Line of Sight Towards Iconic Landmarks

KLLP2040 outlines the requirements for the construction of non-building structures such as infrastructure and street furniture at ground level that do not obstruct the view towards iconic landmarks especially around the Kuala Lumpur City Centre. The planning guide to support this planning control proposal are as follows:

1. Advertising signs should be constructed or installed on existing buildings;
2. The construction of LRT or MRT lines must be carried out underground, especially for locations in the city centre;
3. Utility network systems such as electrical cables must be implemented underground; and

4. Construction of a closed-circuit camera system, streetlight, traffic light or other related minimal structure.

A follow-up study must be carried out to analyze and identify the actual height as well as the need for development control from the aspect of height, design or building orientation.

BRIEF INFO

HEIGHT OF KUALA LUMPUR'S ICONIC LANDMARKS

Menara Kuala Lumpur (Kuala Lumpur Tower)

Year Completed

1995

Height

421.0METRE

Menara Berkembar Petronas/ Menara KLCC (Petronas Twin Towers)

Year Completed

1996

Height

451.9METRE

Menara Merdeka 118 (Merdeka 118 Tower)

Year Completed

2022

Height

678.9METRE



Location: Kuala Lumpur

Source: <https://www.shutterstock.com/g/SyafiqAdnan>

The view around the iconic landmark, Menara Kuala Lumpur.

Public Open Space in Private Schemes (OS4) functions as multi-purpose public open space located at ground level or at the podium that are accessible to the public. It is an area of public use and not only limited to the local community.

OS4 is a planning control layer and is calculated in the provision of open space (land) requirements and not in the calculation of land use zones. The basis of OS4 determination is as follows:

1. Surrender to KLCH through strata parcels or accessory parcels; or
2. Stated as the condition in the land title deed; or
3. Determined through an undertaking agreement with KLCH or related regulatory agencies.

4-6.1 Objectives of Planning Control Layer for Public Open Space in Private Schemes (OS4)

The designation of OS4 as a planning control layer for public open space with requirements and intents are as follows:

1. Introducing a new initiative to address the issue of limited land availability through innovative methods to ensure the use of multifunctional open space;
2. Ensuring the availability of public open space innovatively in large-scale private development schemes;
3. Optimising land use by allowing other activities underneath the open spaces;
4. Enabling collaboration with building owners for the high-quality management and maintenance of open spaces;
5. Addressing the issue of limited land availability for development purposes in urban areas in line with the need to achieve the target of 20 square meters of open space per person by 2040; and
6. Diversifying the types of public open space from concentrating on the ground level only.

4-6.2 Aspects of Planning Control Layer for Public Open Space in Private Schemes (OS4)

This planning control focuses on five (5) forms as follows:

1. The OS4 layer is shown as an overlay layer above other land use zones in land use zone map;
2. Any changes to the approval plan must ensure that the total area of OS4 is maintained even if the shape or design is changed;
3. The location of the OS4 area can be changed according to the level and must be accessible to the public from a public place or area;
4. The OS4 area must follow the open space guidelines and other requirements set by KLCH; and
5. OS4 open space can be managed by the developer or related agency by complying with the conditions set by KLCH.



Location: Lalaport, Bukit Bintang City Centre
Lalaport is one of the component of the Bukit Bintang City Centre development that offers the newest Public Open Space in a Private Schemes (OS4) in Kuala Lumpur.



4-6.3 Location of Planning Control Layer for Public Open Space in Private Schemes (OS4)

OS4 location refers to development schemes that have been granted planning permission approval during the preparation of KLLP2040. However, consideration of the preparation of OS4 is subject to future preparation and guidelines. Generally, it is set in high-intensity development areas such as the city centre, new development, redevelopment and regeneration areas.

There are six (6) identified development project sites, namely:

1. Cadangan Pembangunan Bercampur, Seksyen 56, Mukim Bandar Kuala Lumpur (PNB 118 - Menara Merdeka 118);
2. Cadangan Pembangunan Bercampur di Atas Lot PT143 Seksyen 56, Jalan Hang Tuah/ Jalan Pudu (Bukit Bintang City Centre - BBCC);
3. Cadangan Pembangunan Bercampur 'Tun Razak Exchange' Seksyen 62 and Seksyen 67, Bandar Kuala Lumpur, di Jalan Tun Razak/ Jalan Davis (Tun Razak Exchange - TRX);
4. Cadangan Pembangunan Perdagangan di Atas Lot 20001, Seksyen 96a, Jalan Maarof (Bangsar 61, Jalan Riong, Bangsar);
5. Cadangan Pembangunan Perdagangan, off Lebuhraya Bukit Jalil, Bandar Bukit Jalil, Mukim Petaling (Pavilion Bukit Jalil); and
6. Cadangan Pembangunan Bercampur di Atas PT26 dan PT31, Jalan Bangsar, Mukim Bandar Kuala Lumpur (Setia Federal Hill).

In addition, KLCH will ensure that large-scale redevelopment schemes in the future will provide wider public open space to meet the needs of the community and highlight the image of Kuala Lumpur as a Green, Healthy and Vibrant City.

KLCH will diversify efforts and creative initiatives to ensure the provision of open space with improved quality and quantity based on an innovative approach in line with the vision of Kuala Lumpur as a City For All.

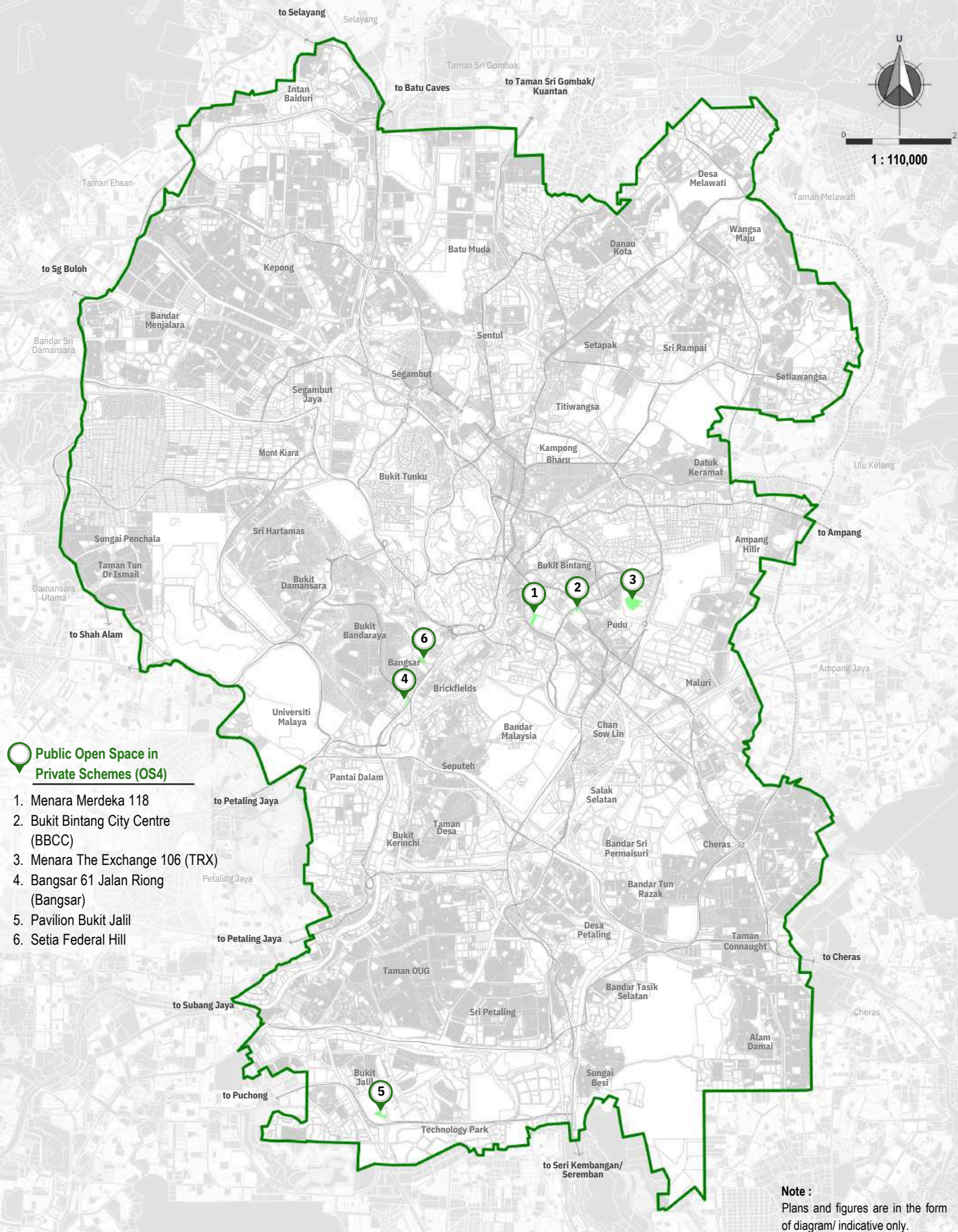


FIGURE 4.6.1 | Plan of Public Open Space in Private Schemes (OS4)

Legend :

Proposal

● Public Open Space in Private Schemes (OS4)

Other

— Main Road

— Kuala Lumpur Boundary

The Planning Control Layer for Affordable Housing (RMM) refers to existing and approved affordable houses. These houses are affordable and liveable to meet the needs of B40 and part of M40 income groups. RMM in Kuala Lumpur is designated specifically in Land Use Zone of Residential 4 (R4). In addition, RMM components have also been built in other land use zones which are Land Use Zone of Residential 3 (R3), Land Use Zone of Mixed Development (MX) and Land Use Zone of Major Commercial (MC).

The planning provision of RMM components with open market housing or commercial components in designated zones must be marked as RMM control layers. This stipulation is to ensure that the existing RMM units can be retained and increased in line with the needs of the people of Kuala Lumpur in the future. The RMM's unit in Kuala Lumpur must be maintained to ensure that the target group can continue living in Kuala Lumpur in line with the increase in house prices in the future. This is also in line with the desire to ensure that workers, especially those in the support sector, remain close to the employment centre in Kuala Lumpur.

4-7.1 Objectives of Planning Control Layer for Affordable Housing (RMM)

The determination of RMM as a planning control layer is intended as follows:

1. Ensure the retaining of existing RMM in line with the future population needs;
2. Coordinate existing RMM redevelopment to ensure that the redeveloped sites retain the number of existing units and encourages the addition of units in the same development scheme; and
3. Balance RMM demand needs for B40 and part of M40 groups which is expected to experience pressure in demand compared to the overall supply of residential units in Kuala Lumpur by 2040.

4-7.2 Aspects of Planning Control Layer for Affordable Housing (RMM)

The RMM planning control layer is determined for sites that are not zoned as Residential 4 (R4). It focuses on the designating of residential, commercial and mixed development land use zones that have been set throughout the preparation of the KLLP2040 to provide RMM components in line with the high-intensity approval allowed for the relevant site or lot.

Nevertheless, RMM development proposals in zones not marked with a planning control layer may be permissible subject to the designation of permitted land use zones.

However, proposed amendments to sites that have been zoned as R4 may be considered to not provide an Affordable Housing (RMM) component. The intensity determination should be aligned (reduced) to match with the intensity of adjacent lots and may be considered with the provision of Affordable Housing (RMM) Incentives, where applicable. This determination does not need to go through the local plan amendment process.

4-7.3 Location of Planning Control Layer for Affordable Housing (RMM)

The RMM layer is shown as a display symbol overlay on the land use zones in the land use zone map. RMM designation criteria are based on redevelopment or new areas as follows:

1. Suitable government lands and privately owned lands;
2. Redevelopment areas zoned as Land Use Zone of Mixed Development (MX);
3. High-intensity areas with priority for Land Use Zone of Residential 3 (R3), Residential 4 (R4), Major Commercial (MC) and Mixed Development (MX) that can be integrated with other development components such as open market properties pricing; and
4. The provision or development of RMM components is encouraged in suitable TPZ or TIZ areas.

4-7.4 Planning Controls Guide for Affordable Housing (RMM)

Planning for the provision of high-intensity RMM development in an area must emphasise the level of infrastructure capacity and accessibility as well as recommendations for necessary improvements to avoid any conflict or congestion. RMM development must refer to the following criteria as follows:

1. The development of RMM must harmonise with the surrounding developments in terms of typology, height and façade design;
2. The development of RMM must ensure that an age and user-friendly design is applied in the building and supporting facility components; and
3. RMM development must consider the provision of comprehensive community facilities to the local community.



Location: Kuala Lumpur
Source: <https://shutterstock.com/g/Nrien>

As of 2024, Menara Merdeka 118 is the tallest building in Malaysia standing at a height of 678.9 metres.

B1



A stylized illustration of a city skyline with various skyscrapers and buildings in shades of blue, green, and yellow. In the foreground, there are silhouettes of people walking, a car, and a train, suggesting a busy urban environment.

5.0

PLOT RATIO INCENTIVE

KUALA LUMPUR LOCAL PLAN 2040

The plot ratio incentive is an additional floor area that may be considered if an approved development contributes towards improving the quality of life, workspace environment, accessibility, community facilities, infrastructure and utilities in Kuala Lumpur including meeting the current policy of the government.

The granting of plot ratio incentives aims to encourage private developers to undertake developments that focus on:

1. Improvement of existing dilapidated residential areas and buildings towards more liveable developments;
2. Development of affordable housing for B40 and part of M40 groups to achieve the targets outlined in the affordable housing policy;
3. Provide cross-subsidy through additional floor area to cover the additional cost such as resettlement of residents or reconstruction of infrastructure or utilities in a redevelopment area; and
4. Provide and upgrade community facilities, infrastructure as well as utilities exceeding standard requirements to facilitate residents' access and accessibility to the facilities provided.

Plot ratio incentives through the redevelopment of brownfield or greyfield sites will contribute towards sustainable urban growth in line with Kuala Lumpur's development initiative as a Low-Carbon City, Smart City and Resilient City. Along with that, plot ratio incentive provides benefits in the following aspects:

1. Encourage implementation of redevelopment programmes in certain areas;
2. Encourage high-intensity development at transit stations to support public transportation usage;
3. Encourage amalgamation of lots for more comprehensive and economically viable developments; and
4. Provide housing for the B40 and part of the M40 group.



Location: Bangsar South
Source: <https://theedgemalaysia.com/>
Redevelopment of the KL Gateway area.

The KLLP2040 determines the provision of an additional plot ratio to the base plot ratio as designated in the DCP2 - Intensity Map. The allocation of additional plot ratio is subject to compliance with the criteria that focus on township development with value added towards quality of life and urban environment.

The provision of plot ratio incentive is subject to the following:

1. Plot ratio incentive is only granted if the development provides value added, contributes towards improving the quality of the built environment and urban sustainability;
2. Approved additional plot ratio must be in accordance with the percentage of base plot ratio designated in the KLLP2040 except incentives for lot amalgamation and affordable housing that are subject to the current government policy;
3. Redevelopments are eligible for additional plot ratio incentives subject to relevant guidelines for redevelopment in Kuala Lumpur except for development zoned as medium-intensity residential;
4. Developments with lot amalgamation incentives are entitled only to TPZ incentives and affordable housing components and are not entitled to redevelopment incentives;
5. The additional incentives should also be subjected to the factors of site suitability (location, physical condition of the site, accessibility, availability of community facilities, infrastructure and compatibility with the surrounding area) and compliance with current planning guidelines as well as standards by KLCH, especially for affordable housing;
6. The determination of this incentive must consider additional development charges exceeding standard requirements for infrastructure and utilities upgrading, additional community facilities and other related physical aspects in line with additional intensity provided subject to the Mayor's approval;

7. The determination of all incentives does not apply to intensity based on height control; and
8. Any development or existing plot of land that has been approved more than the allowable base plot ratio shall be considered as the maximum plot ratio applicable to that land. However, this approved plot ratio cannot be considered a basic plot ratio of granting incentives in the KLLP2040. If the basic plot ratio, along with incentives, exceeds the approved plot ratio, the plot can be considered with the maximum allowable plot ratio set.

However, the provision of plot ratio incentives to open space and community facilities sites that are original or have been gazetted or reserved but zoned for development purposes in KLLP2040 is not eligible to receive the specified incentives except for the affordable housing incentive and TPZ incentive.

The determination of the allowable intensity is subject to compliance with the overall technical planning requirements, current policies and guidelines. For sites which are not able to meet the stipulations, the approval of lower intensities should be considered at the planning control stage.

Incentives of additional plot ratio are subjected to identified sites or areas as follows:

1. Transit Planning Zone (TPZ);
2. Lot Amalgamation Areas;
3. Redevelopment Areas; and
4. Development with Affordable Housing Components.

The planning incentives set by the government in the future may also be considered applicable in the context of implementation for KLLP2040, subject to the acceptance of its implementation at the KLCH level.



The overall application matrix for plot ratio incentives determined by the KLLP2040 is shown in Table 5.1.1

Table 5.1.1: Matrix of Plot Ratio Incentives Application

INCENTIVES	APPLICATION OF PLOT RATIO INCENTIVES			
	TRANSIT PLANNING ZONE (TPZ)	LOT AMALGAMATION AREAS	REDEVELOPMENT AREAS	AFFORDABLE HOUSING COMPONENT
TRANSIT PLANNING ZONE (TPZ)				
LOT AMALGAMATION AREAS				
REDEVELOPMENT AREAS				
AFFORDABLE HOUSING COMPONENT				

KLLP2040 sets the Plot Ratio Incentive for Transit Planning Zones (TPZ) referring to incentives given to areas in Transit Planning Zones (TPZ) and Transit Influenced Zones (TIZ) to encourage development in transit areas. Plot ratio incentives in TPZ and TIZ are additional plot ratio that are entitled to be considered by any development located within TPZ and TIZ.

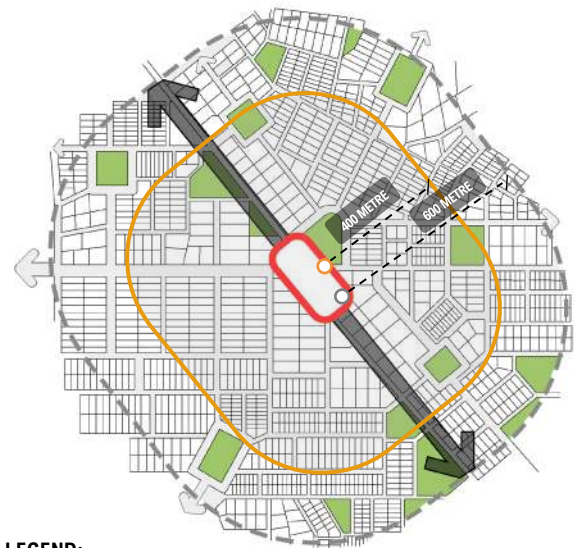
Transit Planning Zone (TPZ) refers to an area located within 400 metres of a transit station that pertains to existing transit stations, under construction and areas that have been acquired for future stations. This area is measured from the edge or end of the Station Box (not the building) and extends 400 metres from the edge of the Station Box. Transit Influenced Zone (TIZ) refers to an area located within 200 metres from the radius boundary of the TPZ, as shown in Figure 5.1.1.

A total of 103 TPZs have been identified which include transit stations for Komuter, Monorail, Mass Rapid Transit (MRT), Light Rail Transit (LRT), High Speed Rail (HSR) and Express Rail Link (ERL) services as shown in the Table 5.1.2.

In addition, stations located outside the boundary of Kuala Lumpur are also entitled to TPZ and TIZ incentives for the catchment areas located within Kuala Lumpur, subject to evaluation at the planning permission application stage. Stations outside the Kuala Lumpur border may be considered for TPZ or TIZ category designation, taking into account the existing TPZ or TIZ station category designation within the Kuala Lumpur border.

The determination of the number and category of TPZ or TIZ may change if new rail lines or stations are built in the future. However, the designation of a new TPZ or TIZ category is subject to the nearest existing station category. The TPZ or TIZ incentive is also applicable to these new stations, whether they are located within or outside the boundary of Kuala Lumpur.

Figure 5.1.1:
Transit Planning Zone (TPZ) and Transit Influenced Zone (TIZ)



LEGEND:

- Station Box
- Transit Planning Zone (TPZ)
(400 metres from the edge of Station Box)
- Transit Influenced Zone (TIZ)
(600 metres from the edge Station Box)

Note:

1. The actual coverage of 400 metres and 600 metres from Station Box will be determined during application of planning permission by the applicant.
2. The TPZ or TIZ radius in KLLP2040 is indicative in nature and based on Station Box information provided by the relevant agencies. However, for the purpose of specific site identification, applicants are encouraged to appoint qualified professionals to verify the actual distance of their site from the Station Box.

BRIEF INFO

CHARACTERISTICS OF LAND USE ACTIVITIES ENCOURAGED AROUND TRANSIT STATIONS

The type of land use activities that are encouraged around transit stations are as follows:

1. Activities that generate a high number of residents and jobs;
2. Activities that generate a high volume of pedestrians;
3. Activities that have two-way movement;
4. Activities that promote active mobility such as walking and the use of micromobility vehicles; and
5. Activities that promote active function of the station surroundings and generate ridership at all times.

Table 5.1.2: List of Transit Planning Zone (TPZ) and Transit Influenced Zone (TIZ) Stations

	MRT – Line (SBK)	MRT 2 – Line (SSP)	TERMINAL BERSEPADU	LRT - Kelana Jaya Line	LRT - Sri Petaling & Ampang Line	KOMUTER	MONOREL	ERL
1	TTDI	Metro Prima	KL Sentral which involves LRT, ERL, Komuter, ETS and Skypark Link stations	Taman Melati	Sentul Timur	Kepong	Titivangsa	Bandar Tasik Selatan
2	Phileo Damansara	Kepong Baru		Wangsa Maju	Sentul	Segambut	Chow Kit	
3	Pusat Bandar Damansara	Jinjang		Sri Rampai	Titivangsa	Taman Wahyu	Medan Tuanku	
4	Semantan	Sri Delima		Dato' Keramat	PWTC	Kampung Batu	Bukit Nanas	
5	Muzium Negara	Kampung Batu		Damai	Sultan Ismail	Batu Kentonmen	Raja Chulan	
6	Pasar Seni	Kentonmen		Ampang Park	Bandaraya	Sentul	Bukit Bintang	
7	Merdeka	Jalan Ipoh		KLCC	Masjid Jamek	Putra	Imbi	
8	Bukit Bintang	Sentul Barat		Kampung Baru	Plaza Rakyat	Bank Negara	Hang Tuah	
9	Tun Razak Exchange (TRX)	Titivangsa		Dang Wangi	Hang Tuah	Kuala Lumpur	Maharajalela	
10	Cochrane	Hospital Kuala Lumpur		Masjid Jamek	Pudu	Mid Valley	Tun Sambanthan	
11	Maluri	Raja Uda		Pasar Seni	Chan Sow Lin	Seputeh	KL Sentral	
12	Taman Pertama	Ampang Park		Bangsar	Miharja	Salak Selatan		
13	Taman Midah	Persiaran KLCC		Abdullah Hukum	Maluri	Bandar Tasik Selatan		
14	Taman Mutiara	Conlay		Kerinch	Cheras	Abdullah Hukum		
15	Taman Connaught	Tun Razak Exchange (TRX)		Universiti	Salak Selatan	Angkasapuri		
16		Chan Sow Lin			Bandar Tun Razak	Pantai Dalam		
17		Bandar Malaysia North			Bandar Tasik Selatan	Petaling		
18		Bandar Malaysia South			Sungai Besi			
19		Taman Naga Emas			Bukit Jalil			
20		Sungai Besi			Sri Petaling			
21		Kuchai			Awan Besar			
22					Muhibbah			
	15	21	1	15	22	17	11	1
103 TPZ and TIZ stations								

5-1.1 Application of Plot Ratio Incentive for Transit Planning Zone (TPZ) and Transit Influenced Zone (TIZ)

The application of plot ratio incentive for TPZ and TIZ are classified into four (4) categories as follows:

1. Category TPZ 1 and TIZ 1;
2. Category TPZ 2 and TIZ 2;
3. Category TPZ 3 and TIZ 3; and
4. Category TPZ 4 and TIZ 4.

The classification and assessment of stations according to the TPZ and TIZ category is based on the following criteria:

1. Type of station;
2. Transit services provided;
3. Development intensity;
4. Patterns of urban activity around the station; and
5. Facilities provided.

Based on designated criteria, the classification and assessment of station according to TPZ and TIZ category are shown in Table 5.1.3. Meanwhile, the distribution of stations according to TPZ and TIZ category are shown in Figure 5.1.2.

Table 5.1.3:

Criteria and List of Transit Planning Zones (TPZ) as well as Transit Influenced Zone (TIZ) by Category

CRITERIA	CATEGORY TPZ 1 AND TIZ 1	CATEGORY TPZ 2 AND TIZ 2	CATEGORY TPZ 3 AND TIZ 3	CATEGORY TPZ 4 AND TIZ 4
Type of Stations	• Transport hubs or integrated interchange stations that are directly connected or connected to dedicated pedestrian facilities	• Interchange stations and connections with other rail modes (LRT-MRT or LRT-KTM) and/or connected with dedicated pedestrian facilities	• Transit station	• Transit station
Transit Service (MRT, LRT, Monorel, KTM)	• More than 2 types of transit services	• 1 or 2 types of transit services	• 1 type of transit service	• 1 type of transit service
Development Intensity	• High intensity	• Medium-high intensity • Medium intensity	• Medium intensity	• Medium intensity
Patterns of Urban Activities	• Main business centres • High intensity mixed development • High intensity housing • Main office areas	• Business centres • Medium-high mixed development • High and medium-high-intensity housing • Office areas	• University • Main sports, cultural or civic centres • Employment centres • Neighbourhood or residential areas • Industrial areas • Institutional areas	• Limited mixed development character • Vacant land and limited redevelopment potential

Table 5.1.3:

Criteria and List of Transit Planning Zones (TPZ) as well as Transit Influenced Zone (TIZ) by Category (continued)

CRITERIA	CATEGORY TPZ 1 AND TIZ 1	CATEGORY TPZ 2 AND TIZ 2	CATEGORY TPZ 3 AND TIZ 3	CATEGORY TPZ 4 AND TIZ 4
Facilities Provided	<ul style="list-style-type: none"> • Park and Ride facilities • Feeder bus • Pedestrian connectivity network • Micromobility vehicle connectivity network • Micromobility vehicle parking • Taxi, e-hailing and other services 	<ul style="list-style-type: none"> • Park and Ride facilities • Feeder bus • Pedestrian connectivity network • Micromobility vehicle connectivity network • Micromobility vehicle parking • Taxi, e-hailing and other services 	<ul style="list-style-type: none"> • Park and Ride facilities • Feeder bus • Pedestrian connectivity network • Taxi, e-hailing and other services 	<ul style="list-style-type: none"> • Park and Ride facilities • Feeder bus • Pedestrian connectivity network • Taxi, e-hailing and other services
Transit Station	<p>Integrated Terminal</p> <ol style="list-style-type: none"> 1. KL Sentral <p>MRT – Line (SBK)</p> <ol style="list-style-type: none"> 2. Muzium Negara 3. Pasar Seni 4. Merdeka 5. Bukit Bintang 6. Tun Razak Exchange (TRX) <p>MRT 2 – Line (SSP)</p> <ol style="list-style-type: none"> 7. Titiwangsa 8. Ampang Park 9. Persiaran KLCC 10. Tun Razak Exchange (TRX) 11. Bandar Malaysia North 12. Bandar Malaysia South <p>LRT Kelana Jaya</p> <ol style="list-style-type: none"> 13. Pasar Seni 14. Masjid Jamek 15. KLCC 16. Ampang Park <p>LRT Sri Petaling and Ampang</p> <ol style="list-style-type: none"> 17. Pudu 18. Hang Tuah 19. Plaza Rakyat 20. Masjid Jamek 21. Titiwangsa <p>Monorel</p> <ol style="list-style-type: none"> 22. KL Sentral 23. Hang Tuah 24. Bukit Bintang 25. Titiwangsa <p>HSR*</p> <ol style="list-style-type: none"> 26. Bandar Malaysia 	<p>MRT – Line (SBK)</p> <ol style="list-style-type: none"> 1. Cochrane 2. Maluri <p>MRT 2 – Line (SSP)</p> <ol style="list-style-type: none"> 3. Kampung Batu 4. Sentul Barat 5. Metro Prima 6. Conlay 7. Chan Sow Lin 8. Kuchai 9. Sungai Besi 10. Raja Uda <p>LRT Kelana Jaya</p> <ol style="list-style-type: none"> 11. Kerinchi 12. Dang Wangi 13. Kampung Baru 14. Damai 15. Dato' Keramat <p>LRT Sri Petaling</p> <ol style="list-style-type: none"> 16. Cheras 17. Salak Selatan 18. Bandar Tasik Selatan 19. Sungai Besi 20. Bukit Jalil 21. Awan Besar <p>LRT Ampang</p> <ol style="list-style-type: none"> 22. Maluri <p>LRT Sri Petaling and Ampang</p> <ol style="list-style-type: none"> 23. Sentul Timur 24. Sentul 25. Sultan Ismail 26. Bandaraya 27. PWTC 28. Chan Sow Lin 	<p>MRT – Line (SBK)</p> <ol style="list-style-type: none"> 1. Phileo Damansara 2. Taman Pertama 3. Semantan 4. Taman Midah 5. Taman Connaught <p>MRT 2 – Line (SSP)</p> <ol style="list-style-type: none"> 6. Hospital Kuala Lumpur 7. Kepong Baru 8. Jinjang 9. Sri Delima 10. Kentonmen 11. Jalan Ipoh 12. Taman Naga Emas <p>LRT Kelana Jaya</p> <ol style="list-style-type: none"> 13. Universiti 14. Abdullah Hukum 15. Bangsar 16. Sri Rampai 17. Wangsa Maju 18. Taman Melati <p>LRT Sri Petaling</p> <ol style="list-style-type: none"> 19. Bandar Tun Razak 20. Sri Petaling <p>LRT Ampang</p> <ol style="list-style-type: none"> 21. Miharja <p>KTM</p> <ol style="list-style-type: none"> 22. Abdullah Hukum 23. Salak Selatan 	<p>MRT – Line (SBK)</p> <ol style="list-style-type: none"> 1. Taman Tun Dr. Ismail 2. Pusat Bandar Damansara 3. Taman Mutiara <p>LRT Sri Petaling</p> <ol style="list-style-type: none"> 4. Muhibbah <p>KTM</p> <ol style="list-style-type: none"> 5. Taman Wahyu 6. Segambut 7. Angkasapuri 8. Seputeh 9. Pantai Dalam 10. Petaling 11. Kepong

Note:

*The HSR and MRT 3 networks will be considered if implemented in the future after the land acquisition process.

Table 5.1.3:

Criteria and List of Transit Planning Zones (TPZ) as well as Transit Influenced Zone (TIZ) by Category (continued)

CRITERIA	CATEGORY TPZ 1 AND TIZ 1	CATEGORY TPZ 2 AND TIZ 2	CATEGORY TPZ 3 AND TIZ 3	CATEGORY TPZ 4 AND TIZ 4
Transit Station		Monorail 29. Tun Sambanthan 30. Maharajalela 31. Imbi 32. Raja Chulan 33. Bukit Nanas 34. Medan Tuanku 35. Chow Kit KTM 36. Kampung Batu 37. Batu Kentonmen 38. Putra 39. Bank Negara 40. Kuala Lumpur 41. Mid Valley 42. Bandar Tasik Selatan 43. Sentul ERL 44. Bandar Tasik Selatan		
Stations Outside Kuala Lumpur	1. Terminal Gombak (Transportation Hub) 2. Pandan Jaya (LRT Ampang) 3. Jelatek (LRT Kelana Jaya) 4. Setiawangsa (LRT Kelana Jaya) 5. Kepong Sentral (KTM) 6. Sri Damansara Timur (MRT 2)		7. Jalan Templar (KTM) 8. Sri Damansara Sentral (MRT 2) 9. Bandar Utama (MRT) 10. Bandar Utama (LRT 3) 11. Alam Sutera (LRT Sri Petaling)	

Note:

- Stations located outside the boundary of Kuala Lumpur (whether marked or unmarked radius in Figure 5.1.2 or upcoming stations), will be considered if the catchment of TPZ and TIZ cover areas within Kuala Lumpur subject to planning assessment;
- The determination of the TPZ and TIZ station category is also subject to the potential of the station and the surroundings; and
- The designated criteria are general criteria in determining the TPZ and TIZ category.



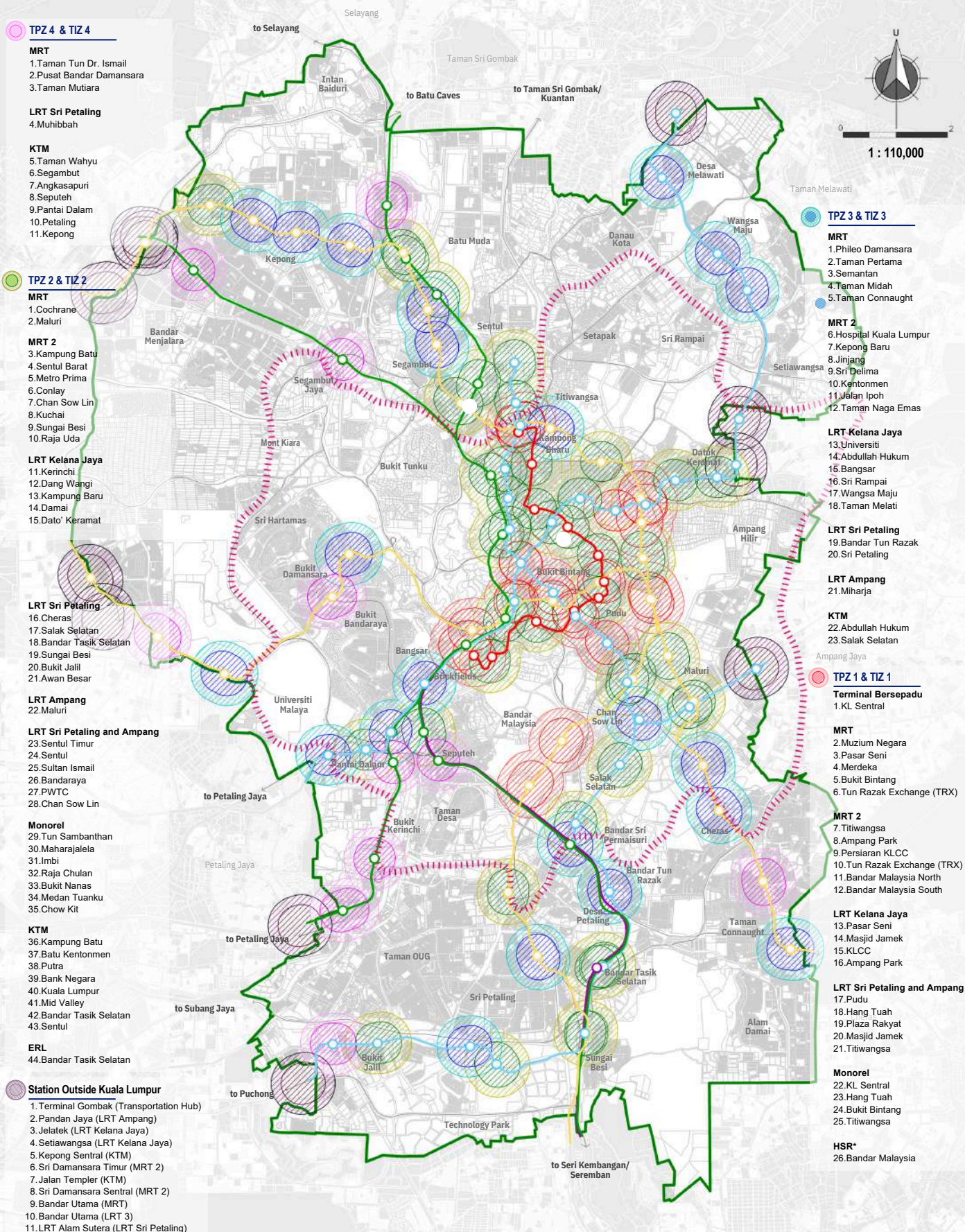


FIGURE 5.1.2 | Plan of Transit Planning Zone (TPZ) and Transit Influenced Zone (TIZ)

Legend :

Proposal

- TPZ & TIZ Category 1
- TPZ & TIZ Category 2
- TPZ & TIZ Category 3
- TPZ & TIZ Category 4
- TPZ & TIZ Outside Kuala Lumpur

Public Transport Network

- KTM Line and stations
- LRT Line and stations
- MRT Line and stations
- Monorail Line and stations
- ERL Line and stations
- MRT Line 3 Corridor and Station (In Planning)

Other

- Main Road
- Kuala Lumpur Boundary

Note :

1. Plans and figures are in the form of diagram/ indicative only.
2. The TPZ/ TIZ radius in KLLP2040 is indicative based on Station Box information by relevant agencies, however for specific identification purposes, applicants are encouraged to appoint relevant professionals for the purpose of verifying the actual distance of the applicant's site from the Station Box.
3. Stations outside Kuala Lumpur (subject to change from time to time) involving TPZ and TIZ catchment areas within Kuala Lumpur are counted for the provision of incentives.

5-1.2 Determination of Plot Ratio Incentive for Transit Planning Zones (TPZ) and Transit Influenced Zone (TIZ)

The KLLP2040 determine additional plot ratio to the base plot ratio as stipulated in the DCP2 - Intensity Map for plots located inside the TPZ and TIZ area. The allocation of additional plot ratio is subject to compliance with the criteria that focus on township development with value-added towards the quality of life and urban environment as well as to ensure connectivity within 400 metres and 600 metres.

The allocation of additional plot ratio is according to the percentage as shown in Table 5.1.4. The actual additional plot ratio is subject to the percentage of the plot located inside the TPZ and TIZ. This incentive does not apply to the following developments or land use zones:

1. Land use zones that are not relevant to the plot ratio;
2. Land use zones related to height control;
3. Parking space or area;
4. Any type of resident facility provided and handed over to the management or related agencies; and
5. Existing or new developments that have been approved with plot ratios higher than the permitted plot ratio including incentive in KLDGP2025.



Location: Jalan Tun Sambanthan and Jalan Stesen Sentral
Source: <https://www.shutterstock.com/g/MEzairi>
High-intensity development pattern around KL Sentral.

Table 5.1.4:
Provision of Additional Plot Ratio According to the Percentage

Criteria	Compliance of Criteria	Maximum Incentive Percentage by Category			
	400 metres	TPZ 1	TPZ 2	TPZ 3	TPZ 4
		20%	15%	10%	5%
	600 metres	TIZ 1	TIZ 2	TIZ 3	TIZ 4
		15%	10%	7.5%	5%
MAIN CRITERIA: 1. Provision of development with direct connectivity to the station (station development). Direct connectivity components can be provided or upgraded in the form of connecting routes such as at ground level (at grade), bridges (overpass) or tunnels/ underground passage (underpass) or transit vehicles such as sky train, cable car or Autonomous Rail Rapid Transit (ART);	Incentives are granted if the main criteria are complied.	Up to 10%	Up to 7.5%	Up to 5%	Up to 2.5%
		Up to 10%	Up to 7.5%	Up to 5%	Up to 2.5%
SUPPORTING CRITERIA: The determination of supporting criteria must meet the aspects set out in current policies or development guidelines or standards used or set by the government or KLCH as well as those recognised by the recognising agency or body (subject to the availability of current policies). 2. Provision of affordable housing or affordable commercial space; 3. Provision of functional open space exceeding the minimum requirements that can be used by the public with the concept of a plaza or public space that allows the public to use; 4. Implementation of green city initiatives such as green walls, vertical green, water elements, and shades, and the need to obtain certification recognised by a professional or accreditation body at the national or global level; 5. Provision of community facilities on the development site or building space; 6. Need to obtain green building certification recognised by a professional or accreditation body at a national or global level; 7. Provision of Low Carbon City elements such as energy efficiency, solid waste disposal, water harvesting, anaerobic digesters, mini-incinerators, electric vehicle charging stations and other related elements that suitable and the need to obtain certification recognised by a professional or accreditation body at the national or global level; 8. Provision of Safe City elements such as CCTVs, bollards, safety mirrors and other related elements and the need to obtain certification recognised by a professional or accreditation body at the national or global level; 9. Provision of Smart City elements such as smart vehicle facilities, smart bins and other related elements and the need to obtain certification recognised by a professional or accreditation body at the national or global level; and 10. Provision of Resilient City elements such as sustainable drainage systems, green infrastructure, water-sensitive urban design and the sponge city concept and the need to obtain certification recognised by a professional or accreditation body at the national or global level.	Incentives are granted if the applicant can provide or comply with 5 of the 9 supporting criteria designated.	Up to 10%	Up to 7.5%	Up to 5%	Up to 2.5%
		Up to 5%	Up to 2.5%	Up to 2.5%	Up to 2.5%
	Incentives are granted if the applicant can provide or comply with 3 of the 9 supporting criteria designated.	Up to 5.0%	Up to 2.5%	Up to 1.75%	Up to 0.75%
		Up to 2.5%	Up to 1.5%	Up to 1%	Up to 0.5%
	Incentives are granted if the applicant can provide or comply at least 1 of the 9 supporting criteria designated.	Up to 2.5%	Up to 1.75%	Up to 0.75%	Up to 0.25%
		Up to 1.5%	Up to 1%	Up to 0.50%	Up to 0.25%

5-1.3 Calculation to Determine Plot Ratio Incentive of Transit Planning Zones (TPZ) and Transit Influenced Zone (TIZ)

The steps to calculate plot ratio incentive for TPZ and TIZ are as follows:

1. Refer to the TPZ or TIZ if the plot or part of the plot is within TPZ area identified;
2. Refer to DCP 2 - Intensity Map for the designated base plot ratio for that particular plot; and
3. Determine total area of plot that are within TPZ or TIZ either overall or part of the plot to allocate the additional plot ratio according to the compliance of criteria:
 - a. If entire plot is within the TPZ or TIZ, then additional plot ratio is based on overall area; or
 - b. If only a part of the plot is within the TPZ or TIZ area, then the additional plot ratio incentive will be applied only to the part included in the TPZ or TIZ area.

BRIEF INFO

Calculation Step 1:

Calculation of Plot Ratio Incentive According to Plot Size

Total area of the plot (A and B) = 4 acres

Base plot ratio = 1:6

Total area Site A	Total area Site B
3.2 acres (80% of plot outside TPZ)	0.8 acres (20% of plot inside TPZ)

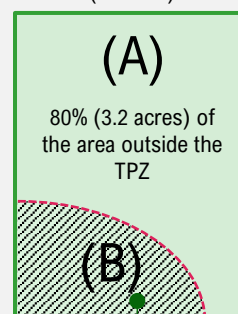
Calculation Step 2:

Calculation Step of TPZ Area Incentive

1. Plots within the TPZ area are entitled to receive plot ratio incentives after complying with the prescribed criteria.
2. Incentive entitlement is based on compliance with the set percentage.
3. For example, plot (B) is located in the Category TPZ 1 and has complied with the **main criteria** and five (5) of the nine (9) **supporting criteria** designated, so it is entitled to 20% incentives.

	Site A	Site B
Plot Ratio Calculation	Site A uses the base plot ratio as it is located outside the TPZ	Site B entitle additional plot ratio incentives (20% x base Plot Ratio) + base Plot Ratio = $(0.2 \times 6) + 6$ = 7.2
Plot ratio	1:6	1:7.2

Plot area (A and B) : 4 acres



20% (0.8 acres) of the area is within the 400m radius of the TPZ

Calculation Step 3:

Total GFA earned by the entire plot

Site A	Site B
Site (A) GFA outside TPZ Area = 3.2 acres x 43,560 square feet x 6 = 836,352 square feet = 77,699.64 square metre	Site (B) GFA in TPZ Area = 0.8 acres x 43,560 square feet x 7.2 = 250,905.60 square feet = 23,309.89 square metre

The GFA obtained is applicable to the entire plot = Site A + Site B

= **836,352 square feet + 250,905.60 square feet**

= **1,087,257.60 square feet or 101,009.54 square metre**

Note : The calculation steps above are also applicable to the calculation of the Incentive TIZ Area.

5-1.4 Planning Guide for Transit Planning Zones (TPZ) and Transit Influenced Zone (TIZ)

Development within TPZ and TIZ must focus on pedestrian and micromobility vehicle development orientated to increase user access to transit services and create a vibrant environment. Based on the provision of incentives, all developments within TPZ and TIZ should be planned based on the outline as follows:

1. Development components must contain compact city elements that will encourage pedestrians and micromobility vehicles as well as efficient public transport to reduce dependency on the use of private vehicles. It also focuses on mixed development with organised urban infrastructure and facilities;
2. Characteristics of mixed land use activities around transit stations are residing, working and leisure activities as well as optimising the use of public transport;
3. Road and street design should provide space to improve the comfort and safety of pedestrians and micromobility vehicle users as well as facilitate pedestrian routes to transit stations;
4. Pedestrian and micromobility vehicle route planning must be comprehensive, continuous as well as age-friendly and disable-friendly with design features and facilities as follows:
 - a. Pedestrian walkways in the city centre should not be roofed to reduce blocking and encourage refreshing wind flow through the concept of a wind tunnel. However, consideration must be given to provide shade for the convenience of pedestrians;
 - b. Covered pedestrian walkways or a shaded landscape can be provided outside the city centre to encourage pedestrian activity;
 - c. Pedestrian crossings should be user-friendly and integrated with smart elements for security purposes such as CCTV and panic buttons;
 - d. Facilities and walkways design that can support the movement of all groups, including the provision of signage for people with hearing and sighting disabilities; and
 - e. Separated or dedicated pedestrian and micromobility vehicle routes.
5. High-quality designs of public space designs and the potential as a placemaking location to attract numbers of transit users;
6. Building design that is based on active street activity to encourage pedestrians that enliven the environment in TPZ and TIZ;
7. Provision of facilities for micromobility vehicles within the TPZ and TIZ area to ensure improvement of first and last mile connectivity; and
8. Provision of public parking for areas outside the City Centre.



Location: LRT Ampang Park's path.
Covered pedestrian walkways from LRT Ampang Park.

Lot amalgamation refers to the merging of a minimum of two (2) or more land lots that share the same boundary and are located in the same land use zone with an appropriate lot size to qualify for the intensity increase.

The plot ratio incentive for the lot amalgamation area is intended to encourage viable and innovative land development. It is also to ensure the comprehensive development or replanning of focus areas within the implementation period of the KLLP2040.

5-2.1 Application of Plot Ratio Incentive for Lot Amalgamation Areas

Incentive for lot amalgamation areas is applicable at 19 areas that have been identified:

1. Jalan Inai;
2. Jalan Bukit Ceylon;
3. Jalan Kolam Air;
4. Jalan Damai;
5. Jalan U-Thant/ Jalan Desa Pandan;
6. Jalan Gurney;
7. Jalan Syed Putra/ Jalan Robson;
8. Jalan Ang Seng/ Jalan Thamby Abdullah;
9. Lorong Palas off Jalan Ampang;
10. Lorong Setapak, Jalan Pahang;
11. Kawasan Tiong Nam;
12. Jalan Merpati;
13. Jalan Ampang Kiri/ Jalan Ampang Ulu 3;
14. Jalan Walter Granier/ Lorong Walter Granier;
15. Jalan Nipah;
16. Persiaran Klang;
17. Lorong Nibong off Jalan Ampang;
18. Lorong Setapak 1, 2 and 3; and
19. Jalan Kuang Bertam 2.

The designation of the 19 lot amalgamation areas considers current needs, surrounding development pressure as well as a pioneer implementation of the lot amalgamation initiative in Kuala Lumpur.

The location and planning control details of areas for lot amalgamation are as shown in Figure 5.2.1 and Table 5.2.1.

5-2.2 Determination of Plot Ratio Incentive for Lot Amalgamation Areas

The plot ratio incentive for lot amalgamation areas is intended to encourage development by providing better infrastructure and environmental quality as well as to meet more conducive and sustainable community needs.

Incentive for the plot ratio of a lot amalgamation area is based on eight (8) criteria as follows:

1. Small size lot or form that is uneconomical to develop individually;
2. Lots are with limited access, infrastructure and utilities;
3. Lots are located in areas with potential to be developed with more economic activities and intensity;
4. Lots are located in areas that focus on improving the environment or with a character of renewal area;
5. The amalgamation of lots must be towards creating a suitable shape and size for development;
6. Developments eligible for lot amalgamation incentives are entitled to TPZ incentives and affordable housing component incentives but not entitled to redevelopment incentives;
7. The determination of the maximum plot ratio for the lot amalgamation area is subject to provision or upgrading the capacity of infrastructure and utility, community facilities, connectivity with rail-based transport and harmony with the surrounding developments; and
8. Granting of incentives is also encouraged to obtain residents' feedback, subject to suitability requirements of related agencies and as determined by the guidelines from time to time.

5-2.3 Calculation to Determine Plot Ratio Incentive of Lot Amalgamation Areas

The steps to calculate plot ratio incentive for Lot Amalgamation Areas are as follows:

1. Refer to the selected location and if the land is included in the plot ratio incentive area of the identified lot amalgamation, then it is entitled to the plot ratio incentive;
2. Refer to DCP1 – Land Use Zoning Map and DCP2 – Intensity Map for the designated land use zone and base plot ratio of that particular lot; and
3. If a lot amalgamation area is included within a radius of 400 metres of a TPZ and 600 metres of a TIZ area, then the additional plot ratio incentive will be applied only to the part included in the TPZ or TIZ particular area.

BRIEF INFO

Calculation Step Scenario 1:

Calculation of Sites Eligible for Plot Ratio Incentives for Lot Amalgamation Areas Only (Basis for Calculating Lot Amalgamation Areas)

Area: Jalan Damai

Base Plot Ratio: **1:2**

Entitlement of amalgamation lot incentive according to the size:

- a. 20,000 square feet - 29,999 square feet = Plot Ratio 1:3
- b. >30,000 square feet = Plot Ratio 1:4

Calculation:

- A. Total area of Lot A = 0.5 Acre (21,780 square feet)
- B. Total area of Lot B = 0.2 Acre (8,712 square feet)
- C. Total lot amalgamation area Lot = A + B
= 21,780 square feet + 8,712 square feet
= 30,492 square feet (Lot C)

Therefore, the Site C site is entitled to lot amalgamation incentive with a Plot Ratio of 1:4.

Calculation Step Scenario 2:

Calculate Incentive Eligibility for the Entire Lot Amalgamation Area Involved in TPZ or TIZ Areas

*Note: Taking into account Calculation Steps of Scenario 1 (Basis for Calculation of Lot Amalgamation Area)

If the site is located within a 400 metres radius of the TPZ or 600 metres radius of the TIZ priority area, it is eligible for the TPZ plot ratio incentive. An example of the eligibility calculation of the lot amalgamation incentive for a site within a 400 metres radius of the TPZ area is as follows:

- A. Plot Ratio for Site C = 1:4 (30,492 square feet)
- B. Eligible percentage criteria of TPZ for Site C = 20%
- C. Eligible plot ratio incentive = 20% X Base Plot Ratio (1:2)
= 20% X 2 = 0.4
- D. Eligible additional plot ratio
= Plot Ratio 1:4 + Plot Ratio Incentive 0.4
= Plot Ratio 1:4.4

Therefore, the additional plot ratio for Site C is 1:4.4.

If only part of the site is located within a 400 metres radius of the TPZ or 600 metres radius of the TIZ area, only the area involved is eligible to receive TPZ incentives.



Calculation Step Scenario 3:

Calculation of Incentive Eligibility for Part of the Lot Amalgamation Area Involved in the TPZ or TIZ Area

Note: Taking into account Calculation Steps of Scenario 1 (Basis for Calculation of Lot Amalgamation Area)

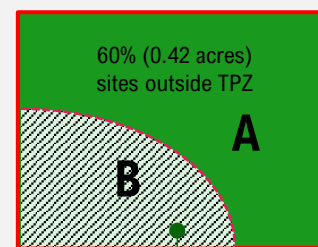
Total area of the plot (**Lot A+Lot B = Amalgamation Lot C**) = 0.7 acres

Base Plot Ratio = 1:4

Lot C Amalgamation Area, 0.7 acres Divided Into:

Site A	Site B
0.42 acres (60% of sites outside TPZ)	0.28 acres (40% of sites inside TPZ)

Plot Area (Lot A+Lot B =
Amalgamation of Lot C): 0.7 acres



40% (0.28 acres) of sites
inside radius 400m TPZ

Calculation Step Scenario 3(a):

Calculation Step for the TPZ Area Incentive Eligibility

1. Plots within the TPZ area are entitled to receive a plot ratio incentive after complying with the prescribed criteria.
2. Incentive entitlement is based on compliance with the set percentage.
3. For example, plot (B) is located in the category TPZ 1 and has complied with the 1 **main criteria** and five (5) of the nine (9) **supporting criteria** designated, so it is entitled for 20% incentives.

Item	Site A	Site B
Plot Ratio Calculation	Site A uses the base plot ratio as it is located outside the TPZ	$(20\% \times \text{base Plot Ratio}) + \text{base Plot Ratio}$ $= (0.2 \times 4) + 4$ $= 4.8$
Plot Ratio	1:4	1:4.8

Calculation Step Scenario 3(b):

Total GFA earned by the entire plot

Site A	Site B
Site (A) GFA outside TPZ Area $= 0.42 \text{ acres} \times 43,560 \text{ square feet} \times 4$ = 73,180.80 square feet or = 6,798.72 square metres	Site (B) GFA in TPZ Area $= 0.28 \text{ acres} \times 43,560 \text{ square feet} \times 4.8$ = 58,544.64 square feet or = 5,438.98 square metres

The GFA obtained is applicable to the entire plot = Site A + Site B

= **73,180.80 square feet + 58,544.64 square feet**

= **131,725.44 square feet or 12,237.69 square metres**

Note : The calculation steps above are also applicable to the calculation of the Incentive TIZ Area

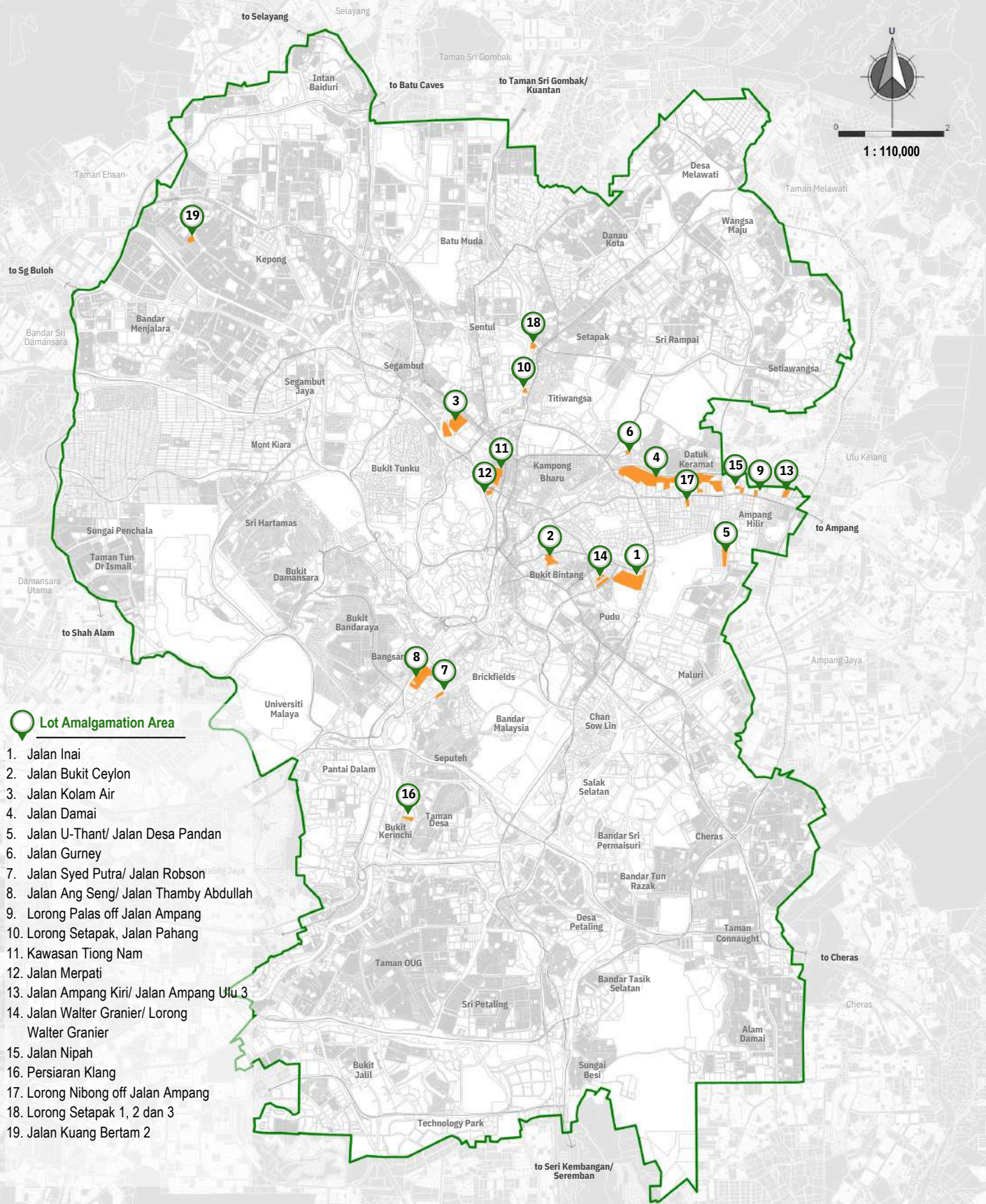


FIGURE 5.2.1 | Distribution Plan for Site of Lot Amalgamation Incentive Areas

Legend :

Proposal

- Site of Lot Amalgamation Incentive Areas

Other

- Road
- Kuala Lumpur Boundary

Table 5.2.1: List of Lot Amalgamation Incentive Areas


Location/ Area	Development Control
<p>1. Jalan Inai</p> 	<p>Land Use Zone: City Centre Commercial (CCC)</p> <p>Base Plot Ratio: 1:4</p> <p>1. Lot Amalgamation Area:</p> <ol style="list-style-type: none"> 20,000 square feet - 29,999 square feet = Plot Ratio 1:6 30,000 square feet - 49,999 square feet = Plot Ratio 1:8 50,000 square feet and above = Plot Ratio 1:10
<p>2. Jalan Bukit Ceylon</p> 	<p>Land Use Zone: City Centre Commercial (CCC)</p> <p>Base Plot Ratio: 1:2</p> <p>1. Lot Amalgamation Area:</p> <ol style="list-style-type: none"> 20,000 square feet - 29,999 square feet = Plot Ratio 1:5 30,000 square feet - 39,999 square feet = Plot Ratio 1:6 40,000 square feet and above = Plot Ratio 1:8
<p>3. Jalan Kolam Air</p> 	<p>Land Use Zone: Mixed Development (MX)</p> <p>Base Plot Ratio: 1:2</p> <p>1. Lot Amalgamation Area:</p> <ol style="list-style-type: none"> 20,000 square feet - 29,999 square feet = Plot Ratio 1:4 30,000 square feet - 39,999 square feet = Plot Ratio 1:5 40,000 square feet and above = Plot Ratio 1:6

Table 5.2.1: List of Lot Amalgamation Incentive Areas (continued)



Location/ Area	Development Control
<p>4. Jalan Damai</p> 	<p>Land Use Zone: Mixed Development (MX)</p> <p>Base Plot Ratio: 1:2</p> <p>1. Lot Amalgamation Area:</p> <ol style="list-style-type: none"> 20,000 square feet - 29,999 square feet = Plot Ratio 1:3 30,000 square feet and above = Plot Ratio 1:4
<p>5. Jalan U-Thant/ Jalan Desa Pandan</p> 	<p>Land Use Zone: Residential 2 (R2)</p> <p>Base Plot Ratio: 1:2</p> <ol style="list-style-type: none"> Entitlement for Plot Ratio of 1:2 is allowed only for sites with a minimum area of 20,000 square feet and access from Jalan Desa Pandan only; and Development with access from Jalan U-Thant, will be controlled through height control of 3 storeys.
<p>6. Jalan Gurney</p> 	<p>Land Use Zone: Commercial (C)</p> <p>Base Plot Ratio: 1:2</p> <ol style="list-style-type: none"> Lot amalgamation with an area of 30,000 square feet and above are entitled for a Plot Ratio of 1:4 provided that the lot amalgamation is of an appropriate and continuous form.

Table 5.2.1: List of Lot Amalgamation Incentive Areas (continued)

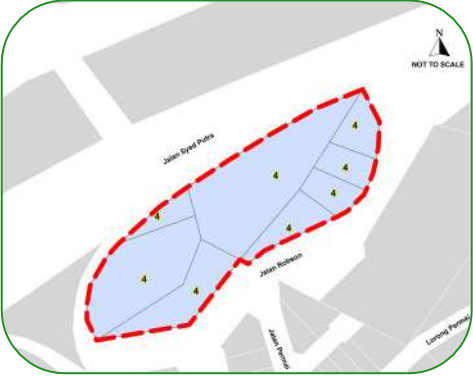

Location/ Area	Development Control
<p>7. Jalan Syed Putra/ Jalan Robson</p> 	<p>Land Use Zone: Commercial (C)</p> <p>Base Plot Ratio: 1:4</p> <p>1. Lot Amalgamation Area:</p> <ol style="list-style-type: none"> 30,000 square feet - 39,999 square feet = Plot Ratio 1:5 40,000 square feet and above = Plot Ratio 1:6
<p>8. Jalan Ang Seng/ Jalan Thamby Abdullah</p> 	<p>Land Use Zone: Mixed Development (MX)</p> <p>Base Plot Ratio: 1:4</p> <p>1. Lot Amalgamation Area:</p> <ol style="list-style-type: none"> 20,000 square feet - 39,999 square feet = Plot Ratio 1:5 40,000 square feet - 59,999 square feet = Plot Ratio 1:6 60,000 square feet - 79,999 square feet = Plot Ratio 1:7 80,000 square feet and above = Plot Ratio 1:8
<p>9. Lorong Palas off Jalan Ampang</p> 	<p>Land Use Zone: Commercial (C)</p> <p>Base Plot Ratio: 1:4</p> <p>1. Lot amalgamation with an area of 30,000 square feet and above are entitled for a Plot Ratio of 1:6 provided that the lot amalgamation is of an appropriate and continuous form.</p>

Table 5.2.1: List of Lot Amalgamation Incentive Areas (continued)



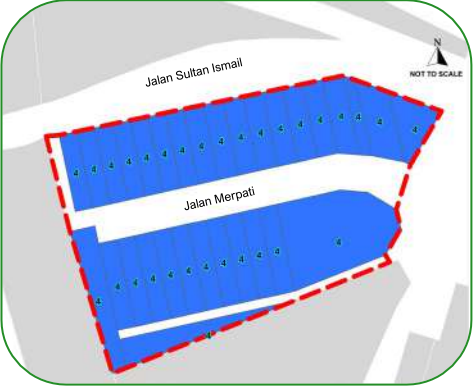
Location/ Area	Development Control
<p>10. Lorong Setapak, Jalan Pahang</p> 	<p>Land Use Zone: Commercial (C)</p> <p>Base Plot Ratio: 1:2</p> <p>1. Lot amalgamation with an area of 30,000 square feet and above are entitled for a Plot Ratio of 1:4 provided that the lot amalgamation is of an appropriate and continuous form.</p>
<p>11. Kawasan Tiong Nam</p> 	<p>Land Use Zone: Major Commercial (MC)</p> <p>Height Control: 4 Storeys</p> <p>1. Lot Amalgamation Area:</p> <ol style="list-style-type: none"> 20,000 square feet - 29,999 square feet = Plot Ratio 1:5 30,000 square feet - 39,999 square feet = Plot Ratio 1:6 40,000 square feet and above = Plot Ratio 1:8 <p>However, priority is given to comprehensive block development; and</p> <p>2. The requirement of minimum lot amalgamation as stipulated above (item 1) for Lot 1583 to Lot 1589 (7 lots) is exempted and need to be developed as a comprehensive development to entitle for a Plot Ratio of 1:6.</p>
<p>12. Jalan Merpati</p> 	<p>Land Use Zone: Major Commercial (MC)</p> <p>Height Control: 4 Storeys</p> <p>1. Comprehensive amalgamation for all lots is entitle for a Plot Ratio of 1:6 with consideration on accessibility and limited access of the site.</p>

Table 5.2.1: List of Lot Amalgamation Incentive Areas (continued)


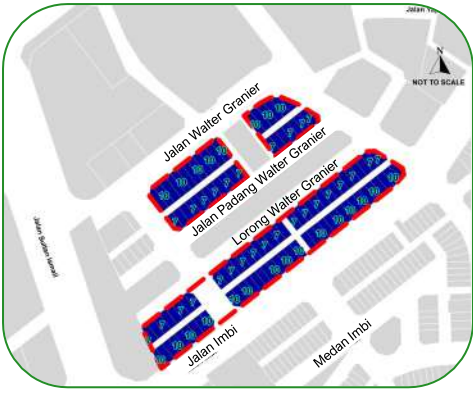

Location/ Area	Development Control
<p>13. Jalan Ampang Kiri/ Jalan Ampang Ulu 3</p> 	<p>Land Use Zone: Mixed Development (MX)</p> <p>Base Plot Ratio: 1:2</p> <p>1. Lot Amalgamation Area:</p> <ol style="list-style-type: none"> 20,000 square feet - 29,999 square feet = Plot Ratio 1:4 30,000 square feet - 49,999 square feet = Plot Ratio 1:6 50,000 square feet and above = Plot Ratio 1:8
<p>14. Jalan Walter Granier/ Lorong Walter Granier</p> 	<p>Land Use Zone: City Centre Commercial (CCC)</p> <p>Height Control: 7 Storeys and 10 Storeys</p> <p>1. Lot amalgamation with an area of 30,000 square feet and above are entitled for a Plot Ratio of 1:7 provided that the lot amalgamation is of an appropriate and continuous form.</p>
<p>15. Jalan Nipah</p> 	<p>Land Use Zone: Commercial (C)</p> <p>Base Plot Ratio: 1:4</p> <ol style="list-style-type: none"> Comprehensive amalgamation for all lots is entitled for a Plot Ratio of 1:6; and Individual lot development is remains for a Plot Ratio of 1:4.

Table 5.2.1: List of Lot Amalgamation Incentive Areas (continued)





Location/ Area	Development Control
<p>16. Persiaran Klang</p> 	<p>Land Use Zone: Residential 3 (R3)</p> <p>Base Plot Ratio: 1:3</p> <ol style="list-style-type: none"> 1. Comprehensive amalgamation for all lots is entitled for a Plot Ratio of 1:3; and 2. Individual lot development is entitled for 3 storeys.
<p>17. Lorong Nibong off Jalan Ampang</p> 	<p>Land Use Zone: Commercial (C)</p> <p>Base Plot Ratio: 1:4</p> <ol style="list-style-type: none"> 1. Comprehensive amalgamation for all lots is entitled for a Plot Ratio of 1:6.
<p>18. Lorong Setapak 1, 2 and 3</p> 	<p>Land Use Zone: Mixed Development (MX)</p> <p>Base Plot Ratio: 1:2</p> <ol style="list-style-type: none"> 1. Lot Amalgamation Area: <ol style="list-style-type: none"> a. 20,000 square feet - 29,999 square feet = Plot Ratio 1:3; and b. 30,000 square feet and above = Plot Ratio 1:4

Table 5.2.1: List of Lot Amalgamation Incentive Areas (continued)

Location/ Area	Development Control
<p>19. Jalan Kuang Bertam 2</p> 	<p>Land Use Zone: Residential 3 (R3)</p> <p>Base Plot Ratio: 1:2</p> <ol style="list-style-type: none"> 1. Comprehensive amalgamation for all lots is entitled for a Plot Ratio 1:2; and 2. Individual lot development will be controlled through height control of 3 storeys.

5-2.4 Planning Guide for Lot Amalgamation Areas

The development planning in the lot amalgamation area should focused on comprehensive development to create a good quality environment. In line with the provision of incentives, all lot amalgamation areas should be developed based on the outlines as follows:

01

Provision or upgrading of infrastructure, community facilities and other facilities that are compatible with high-intensity development.

02

Planning of pedestrian walkways that are seamless and age and disabled-friendly.

03

Provision of appropriate access for the lot amalgamation area to facilitate movement in the surrounding area.

04

Planning of permissible activities according to Volume 1: Part 3 of the Classes of Use of Land and Buildings 2025 (CULB2025).

05

Development planning that meets the conditions and criteria set by KLCH.

Redevelopment refers to new development on an existing site or area that involves changes to the whole or most of the area including layout, structure, function and activities of the building or area. Redevelopment enables replanning of an area in terms of design, infrastructure, utilities and community facilities. It is an alternative to address the limited land needs in Kuala Lumpur. While ensuring Kuala Lumpur will always maintain a fresh and modern image as well as be liveable to meet current and future needs.

This incentive aims to encourage the redevelopment of dilapidated areas, uninhabitable buildings and areas with deteriorating infrastructure and surroundings.

5-3.1 Application of Plot Ratio Incentive for Redevelopment Areas

The use of redevelopment area incentives involves two (2) forms of development as follows:

1. Redevelopment that involves compliance with redevelopment criteria as per Table 5.3.1. In general, a total of 139 sites have been identified as priority redevelopment areas under KLLP2040 including residential, commercial, industrial, institutional, community facilities, infrastructure and utilities, as well as outdated and unviable transportation areas. However, redevelopment incentives may also be considered for other sites that meet the established redevelopment criteria; and
2. Redevelopment consist of eight (8) Special Redevelopment Incentive Sites from the 139 identified sites that have been zoned as Residential 2 (R2) and Residential 3 (R3) which are usually less than 10,000 square feet to initiate the redevelopment effort of the area. However, these sites must comply with certain criteria set out in the guidelines related to the implementation of redevelopment in Kuala Lumpur to qualify for a designated land use zone and are also permitted to be considered for redevelopment incentives. If the development is carried out without complying with the listed criteria, these sites are subject to the condition of the current land use zone, intensity, and character.

BRIEF INFO

REDEVELOPMENT INCENTIVE

Redevelopment Areas

139 sites

Special Redevelopment Incentive

8 sites

from 139 identified sites



Location: Kampung Datuk Keramat
The surroundings of Kampung Datuk Keramat, as a redevelopment area.

5-3.2 Determination of Plot Ratio Incentive for Redevelopment Areas

The KLLP2040 determines the incentive for redevelopment areas of three (3) main areas, namely brownfield areas (uninhabited), greyfield areas (unviable) and residential areas (inhabited) as in Table 5.3.1. This incentive is an additional plot ratio to the basic plot ratio that has been set in KLDCP2025. The criteria for redevelopment areas cover physical, social and safety aspects as well as management as in Table 5.3.2.

The determination percentage for additional incentive of plot ratio is subject to evaluation at the planning control level considering criteria and categories set out in the guidelines related to the implementation of redevelopment in Kuala Lumpur. The granting of this incentive may also vary according to policy changes from time to time. If the building structure involves only part of the redevelopment site, then the granting of incentives is subject to the area of the structure plot or the area only subject to the determination at the planning control level.

Table 5.3.1: Main Redevelopment Area

MAIN REDEVELOPMENT AREA	
1. Brownfield (Uninhabited)	<ol style="list-style-type: none"> 1. Areas that have been developed but abandoned or neglected or have dilapidated development structures or development areas that are not fully completed and left abandoned; 2. Land in this area also includes government land or private land; and 3. Among the brownfield areas are the following: <ol style="list-style-type: none"> a. Former mines or quarries; b. Former solid waste disposal site areas that are full or no longer permanently used; c. Factories or commercial premises or residential or institution that have been abandoned or left unused; and d. Depot Areas, community facilities, transportation, infrastructure, and utilities.
2. Greyfield (Unviable)	<ol style="list-style-type: none"> 1. Buildings and areas that are underutilised and unviable, with land value higher than the assets or buildings or structures or activities remaining on them, and with no prospects for development and are unsafe for habitation; and 2. Among the greyfield areas are as follows: <ol style="list-style-type: none"> a. Industrial and commercial areas that are still inhabited and are not utilised and are not viable; b. The value of the land is higher than the assets or buildings permanently on it; and c. An area with no prospects for development and unsuitable for habitation.
3. Residential Area (inhabited)	<ol style="list-style-type: none"> 1. Encompasses areas or residences that are dilapidated or have been declared unsafe or uninhabitable (socially not fit); and 2. Among the potential areas are as follows: <ol style="list-style-type: none"> a. Strata Housing or Non-Strata Housing; b. Squatter housing or villages; and c. Residential area or old residential buildings.

Note: The establishment of criteria and areas for redevelopment is subject to the application of current guidelines.

Table 5.3.2:
Criteria of Redevelopment Areas

CRITERIA OF REDEVELOPMENT AREA		
Physical	Social and Safety	Management
<ol style="list-style-type: none"> 1. The physical structure and façade of the building are dilapidated, the visual appearance is no longer suitable for the surrounding area as well as the layout is irregular, and basic facilities are not systematic; 2. Buildings that are no longer practical to live in and do not meet the characteristics of Person with Disabilities (PWD) and senior citizen-friendly buildings; 3. Site locations that have high accessibility, such as within Transit Orientated Development (TOD); and 4. Locations in areas with a high risk of natural disasters. 	<ol style="list-style-type: none"> 1. The existence of social problems that concern residents stems from designs and spaces that are not conducive to living and are not suitable for occupation (socially not fit); 2. Areas that often experience criminal incidents such as robbery, theft, and drug dealing that affect the safety of residents; and 3. Vandalism activities that cause damage to community facilities that affect the image of the area and the safety of residents. 	<ol style="list-style-type: none"> 1. Inefficient use and management of land cause environmental and health problems; and 2. Inefficient building maintenance management causes high maintenance costs.



BRIEF INFO

ESTABLISHMENT OF REDEVELOPMENT INCENTIVES

The implementation of the Redevelopment Incentive is subject to the applicable current guidelines. However, the determination of the Redevelopment Incentive is generally as follows:

1. GENERAL CATEGORIES FOR INCENTIVE DETERMINATION

1. **Stratified Residential Development Scheme** involving **KLCH Public Housing (PA) and Private Housing** that is not suitable for occupation (socially-not-fit) and **zoned other than residential**; or
2. Buildings or areas with land use **redevelopment plans** for the **Dilapidated Category Land Development Scheme (industrial and commercial)** involving the **entire scheme or with suitable areas**; or
3. **Abandoned** development is **based on the specified period** from the date the works were stopped and the **superstructure was completed**:
4. **Institutional sites that have a commitment to privatisation or government joint venture projects (have received Cabinet approval)** such as higher education complexes or schools, government offices, military camps, health centres and higher education centres; or
5. Squatters areas (residential, commercial, industrial, etc.) that exist illegally will involve the cost or effort of **evicting and resettling** squatters or solutions that only **involve a one-off payment** (not involving the cost of moving residents in and out); or
6. Multi-storey commercial or industrial development with **single ownership is subject to appropriate height control and proposes development incorporating new elements or initiatives of sustainable development**; or
7. **Infrastructure and utility facilities areas that have a commitment to privatisation or joint venture projects with the government** such as **former solid waste landfills or sewage treatment plant sites** that have been optimised or no longer used; or
8. **Old facility areas that have a commitment to privatisation or joint venture projects with the government** involving areas of **rail-based depots, airports and public transport terminals**; or
9. Land use re-planning and **land development (Single Building)** for permanent buildings and uninhabitable and dilapidated areas with an area **starting from 20,000 square feet** and above and building height **not exceeding 3 floors and excluding temporary buildings**.

Note: The determination of categories for redevelopment incentives is subject to the application of current guidelines.



5-3.3 Planning Guide for Redevelopment Areas

Following the provision of incentives, all redevelopment areas are encouraged to be developed based on the following guides:

1. Mixed development with activities that complement each other such as residential, office or commercial;
2. Development that emphasises the public interest such as the provision of community facilities on government-owned land and its agencies;
3. Adoption of development principles for inclusive, equitable and engagement with relevant stakeholders;
4. Provision of at least 30 percent of the entire development for mixed-income housing including affordable housing with priority to the current residents of the site;
5. Provision of affordable retail and office spaces for rent to encourage entrepreneurial activities;
6. Determine provision of parking incentives for redevelopment in TPZ or TIZ areas;
7. The provision of integrated, quality and inclusive green spaces, open spaces (land) and community facilities is clearly demarcated at the layout planning stage;
8. Application of Safe City, Smart City and Resilient City concepts in redevelopment design;
9. Preparation of impact studies such as social, environmental and traffic subject to suitability and requirements imposed by related agencies;
10. Granting of incentives is also encouraged to obtain residents' feedback, subject to suitability requirements of related agencies and as determined by the guidelines from time to time; and
11. Implementation of a Special Study focusing on Old and Dilapidated Housing Areas (Slum Areas) may be considered subject to future needs to overcome the problem of dilapidated and abandoned areas.



Location: Jalan Kampung Banda Dalam
An aerial view featuring the Kuala Lumpur City Centre in the background.

Table 5.3.3: Specific Sites for Redevelopment Incentive

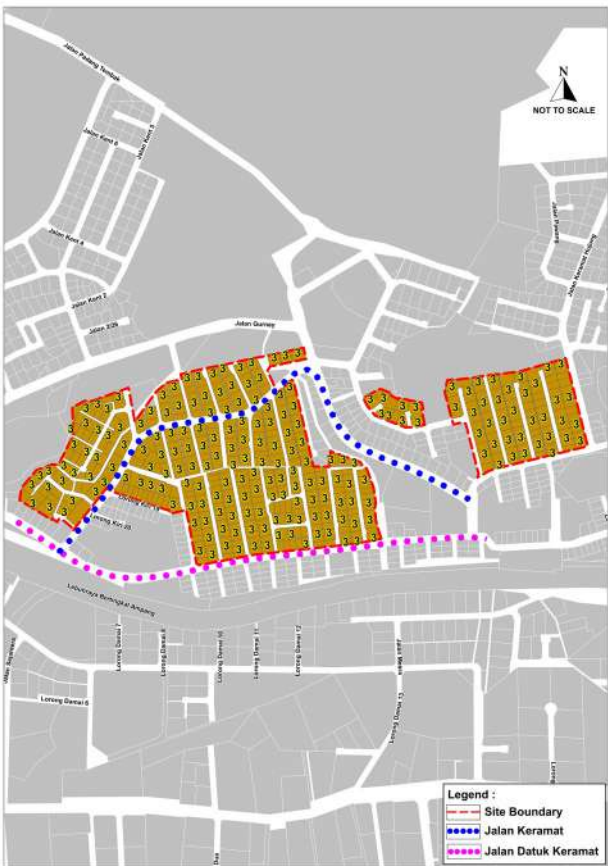

Location/ Area	Development Control
	<p>Site 1:</p> <p>Kampung Datuk Keramat</p> <ol style="list-style-type: none"> The designated Land Use Zone of Residential 3 (R3) and Plot Ratio 1:3 as stipulated in the KLDCP2025 are subject to: <ol style="list-style-type: none"> Comprehensive or cluster block development with a minimum area of 30,000 square feet; and Direct access to the site through Jalan Keramat or Jalan Datuk Keramat and the provision of a main access road with a minimum reserve of 15 metres. The additional redevelopment incentive as stipulated in the guideline (if applicable) is calculated from the base plot ratio set in the KLDCP2025 and subject to compliance with items 1a and 1b; Developments that do not comply with item 1, will be subject to a height control of three (3) storeys; and Redevelopment that creates an uneconomic lots are not encouraged.
	<p>Site 2a:</p> <p>Kampung Baru Salak Selatan</p> <ol style="list-style-type: none"> The designated Land Use Zone of Residential 3 (R3) and Plot Ratio 1:3.5 as stipulated in the KLDCP2025 are subject to: <ol style="list-style-type: none"> Comprehensive or cluster block development with a minimum area of 30,000 square feet; and Direct access to the site through Jalan 1/108 or Jalan 9 or Jalan 13 and the provision of a main access road with a minimum reserve of 15 metres. The additional redevelopment incentive as stipulated in the guideline (if applicable) is calculated from the base plot ratio set in the KLDCP2025 and subject to compliance with items 1a and 1b; Developments that do not comply with item 1, will be subject to a height control of three (3) storeys; and Redevelopment that creates an uneconomic lots are not encouraged.

Table 5.3.3: Specific Sites for Redevelopment Incentive (continued)



Location/ Area	Development Control
	<p>Site 2b:</p> <p>Kampung Baru Salak Selatan (continued)</p> <ol style="list-style-type: none"> The designated Land Use Zone of Residential 3 (R3) and Plot Ratio 1:3.5 as stipulated in the KLDCP2025 are subject to: <ol style="list-style-type: none"> Comprehensive or cluster block development with a minimum area of 30,000 square feet; and Provision of main access with a road reserve of at least 15 metres to the Sungai Besi Expressway (BESRAYA) dedicated driveway (slip road) or to Jalan 28 or Jalan 1. The additional redevelopment incentive as stipulated in the guideline (if applicable) is calculated from the base plot ratio set in the KLDCP2025 and subject to compliance with items 1a and 1b; Developments that do not comply with item 1, will be subject to a height control of three (3) storeys; and Redevelopment that creates an uneconomic lots are not encouraged.
	<p>Site 3:</p> <p>Kampung Pantai, Pantai Dalam (near Al-Khadijiah Jamek Mosque)</p> <ol style="list-style-type: none"> The designated Land Use Zone of Residential 3 (R3) and Plot Ratio 1:3.5 as stipulated in the KLDCP2025 are subject to: <ol style="list-style-type: none"> Comprehensive or cluster block development with a minimum area of 30,000 square feet; and Provision of main access with a minimum reserve of 15 metres to the New Pantai Expressway (NPE) dedicated driveway (slip road). The additional redevelopment incentive as stipulated in the guideline (if applicable) is calculated from the base plot ratio set in the KLDCP2025 and subject to compliance with items 1; Developments that do not comply with item 1, will be subject to a height control of three (3) storeys; and Redevelopment that creates an uneconomic lots are not encouraged.

Table 5.3.3: Specific Sites for Redevelopment Incentive (continued)

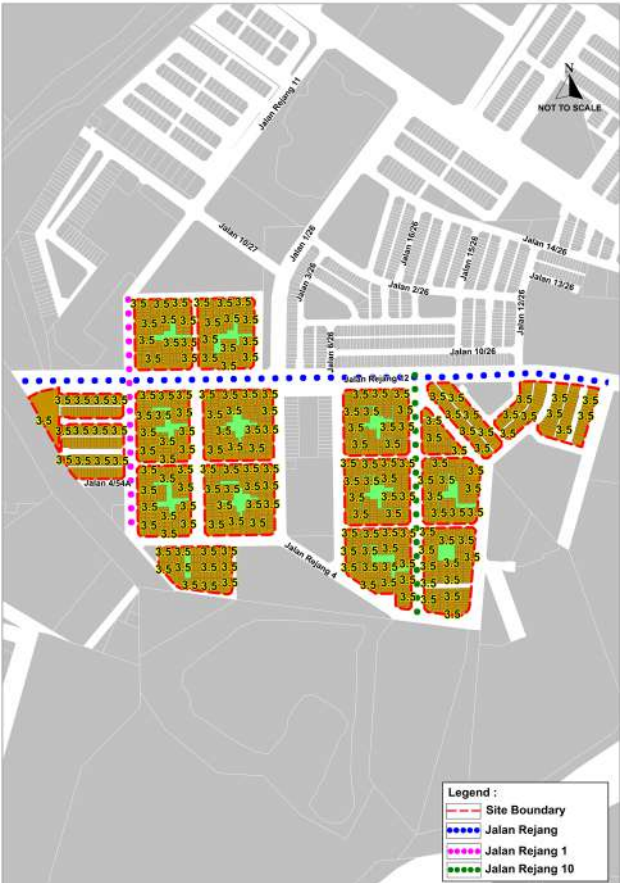

Location/ Area	Development Control
	<p>Site 4:</p> <p>Perumahan Kluster Jalan Rejang (Cluster Housing)</p> <ol style="list-style-type: none"> The designated Land Use Zone of Residential 3 (R3) and plot ratio 1:3.5 as stipulated in the KLDCP2025 are subject to: <ol style="list-style-type: none"> Comprehensive or cluster block development; and Direct access to the site through Jalan Rejang or Jalan Rejang 1 or Jalan Rejang 3 or Jalan Rejang 6 or Jalan Rejang 7 or Jalan Rejang 10 and the provision of the main access road with a minimum reserve of 15 metres. The additional redevelopment incentive as stipulated in the guideline (if applicable) is calculated from the base plot ratio set in the KLDCP2025 and subject to compliance with items 1; Developments that do not comply with item 1, will be subject to a height control of three (3) storeys; and Redevelopment that creates an uneconomic lots are not encouraged.
	<p>Site 5:</p> <p>Perumahan Jalan Jujur and Jalan Ikhlas, Bandar Tun Razak</p> <ol style="list-style-type: none"> The designated Land Use Zone of Residential 3 (R3) and plot ratio 1:3.5 as stipulated in the KLDCP2025 are subject to: <ol style="list-style-type: none"> Comprehensive or cluster block development; and Direct access to the site through Jalan Makmur or Jalan Bangsawan or Jalan Jujur or Jalan Ikhlas. The additional redevelopment incentive as stipulated in the guideline (if applicable) is calculated from the base plot ratio set in the KLDCP2025 and subject to compliance with items 1; Developments that do not comply with item 1, will be subject to a height control of three (3) storeys; and Redevelopment that creates an uneconomic lots are not encouraged.

Table 5.3.3: Specific Sites for Redevelopment Incentive (continued)


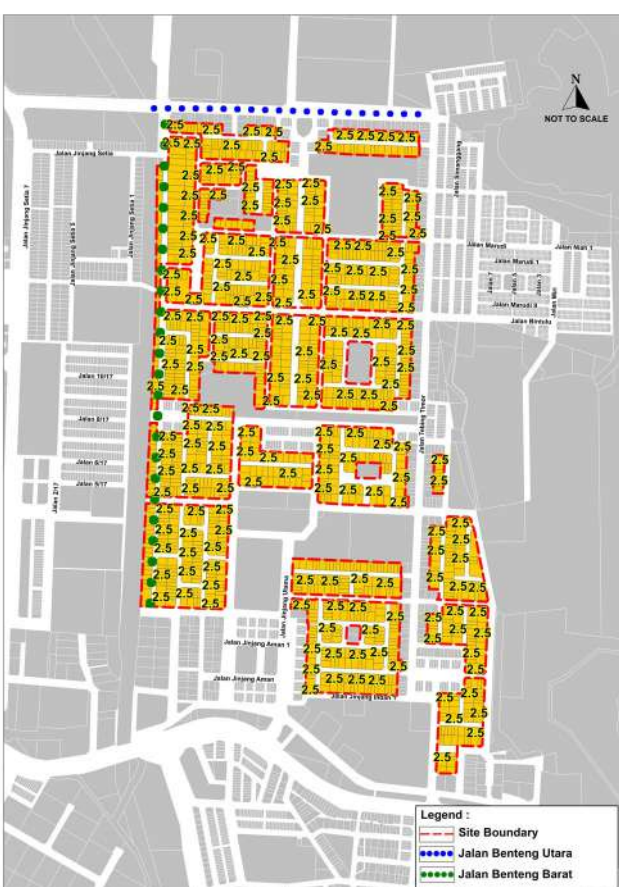
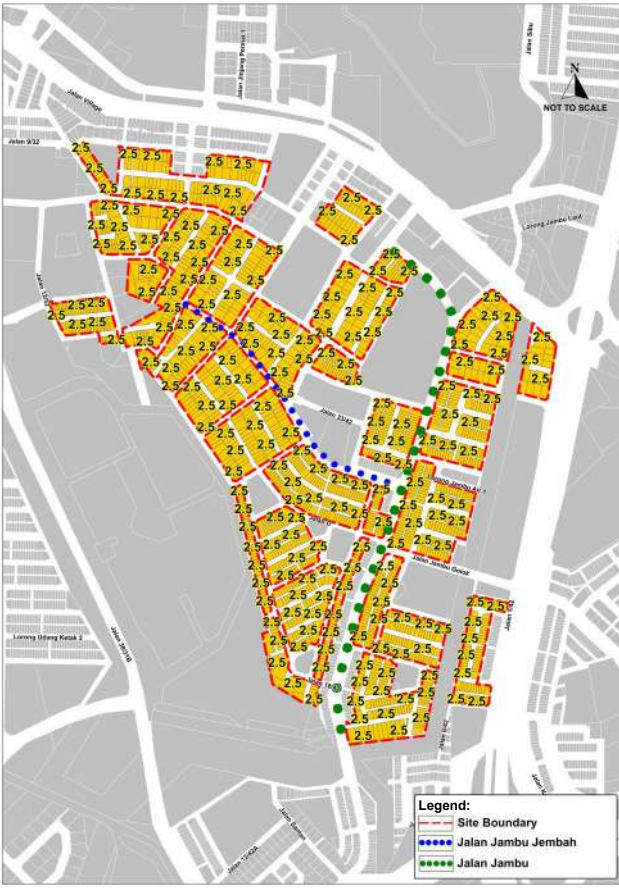
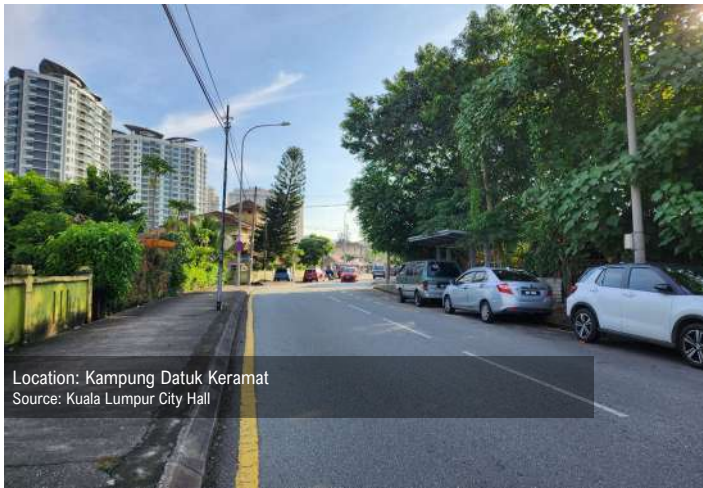
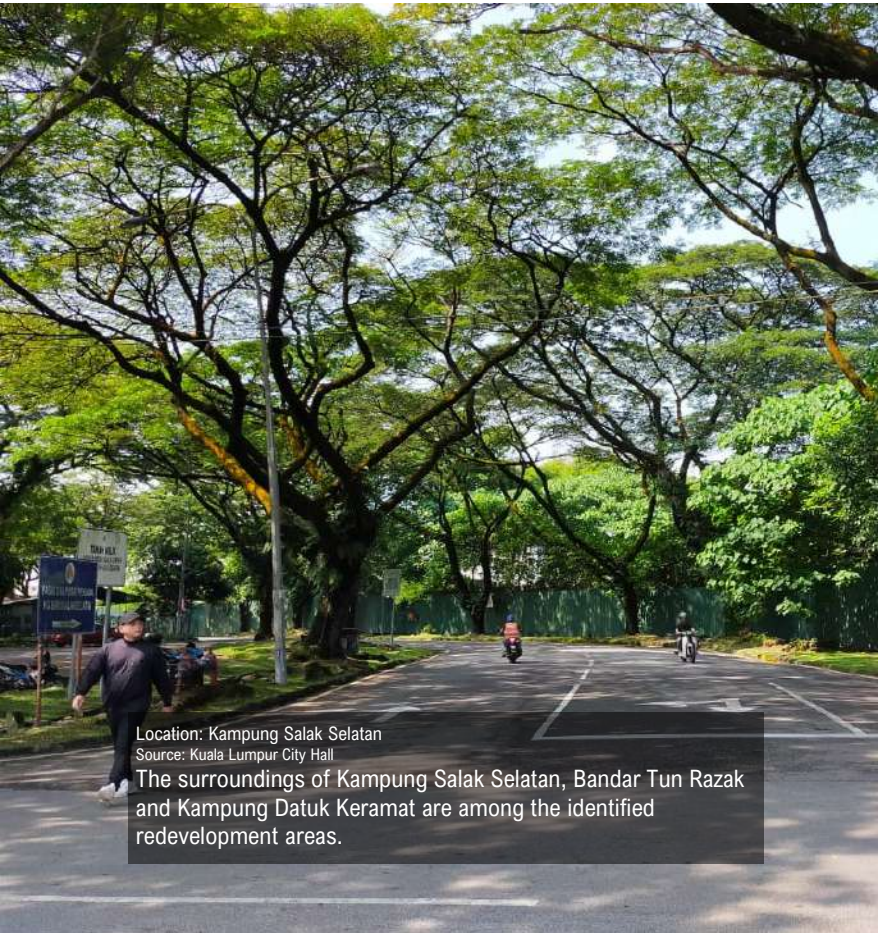
Location/ Area	Development Control
	<p>Site 6:</p> <p>Taman Taiping Apartment (Jalan Tandok)</p> <ol style="list-style-type: none"> The designated of Land Use Zone of Residential 3 (R3) and Plot Ratio 1:4 as stipulated in the KLDCP2025 are subject to: <ol style="list-style-type: none"> Development that is comprehensive as a whole or in groups by block; and Access that is through Jalan Tandok. The additional redevelopment incentive as stipulated in the guideline (if applicable) is calculated from the base plot ratio set in the KLDCP2025 and subject to compliance with item 1; Development that does not comply with item 1, will be subject to the land use zone, intensity and current character of the site; and Redevelopment that creates an uneconomic lots are not encouraged.
	<p>Site 7:</p> <p>Jalan Jinjang Aman (Jinjang Utara)</p> <ol style="list-style-type: none"> The designated of Land Use Zone of Residential 2 (R2) and Plot Ratio 1:2.5 as stipulated in the KLDCP2025 are subject to: <ol style="list-style-type: none"> Development that is comprehensive or in clusters by block with a minimum site area of 30,000 square feet; and Access to the site that must be via Jalan Benteng Utara or Jalan Benteng Barat as well as the provision of a main access road with a minimum reserve of 15 metres. The additional redevelopment incentive as stipulated in the guideline (if applicable) is calculated from the base plot ratio set in the KLDCP2025 and subject to compliance with item 1; Developments that do not comply with item 1, will be subject to a height control of three (3) storeys; and Redevelopment that creates an uneconomic lots are not encouraged.

Table 5.3.3: Specific Sites for Redevelopment Incentive (continued)

Location/ Area	Development Control
	<p>Site 8:</p> <p>Jalan Jinjang Selatan</p> <ol style="list-style-type: none">The designated of Land Use Zone of Residential 2 (R2) and Plot Ratio 1:2.5 as stipulated in the KLDCP2025 is subject to:<ol style="list-style-type: none">Development that is comprehensive or in clusters with a minimum site area of 30,000 square feet; andAccess to the site that must be via Jalan Jambu Jemba or Jalan Jambu as well as the provision of a main access road with a minimum reserve of 15 metres.The additional redevelopment incentive as stipulated in the guideline (if applicable) is calculated from the base plot ratio set in the KLDCP2025 and subject to compliance with item 1;Developments that do not comply with point 1, will be subject to a height control of three (3) storeys; andRedevelopment that creates an uneconomic lots are not encouraged.



Affordable Housing (RMM) refers to housing that is affordable, habitable and safe to occupy for the needs of people in the B40 and some of the M40 income groups. The planning of RMM provision must consider housing supply towards 2040 and be provided by the government or the private sector or through collaboration. RMM consist of Perumahan Rakyat 1 Malaysia (PR1MA), Residensi Wilayah, Perumahan Penjawat Awam Malaysia (PPAM), Residensi Prihatin and Perumahan MADANI.

RMM must consist of at least three (3) bedrooms, two (2) bathrooms, a kitchen, a living room, a dining area, a yard for laundry use and one (1) parking space. It must also be equipped with comprehensive community facilities and social needs to create a liveable and conducive environment. The provision of these facilities is subject to planning control considerations.

The community facilities that are required to be provided in RMM development are based on current policies and population catchment needs. Main facilities include surau or prayer rooms, multi-purpose halls or meeting rooms, management offices, nurseries, kindergartens, community shops or stalls and rooms for Muslim mortuary management.

5-4.1 Application of Plot Ratio Incentive for Development with Affordable Housing (RMM) Components

This incentive applies to sites that may be considered for affordable housing (RMM) development in Kuala Lumpur and are subject to compliance with the standards designated under the related affordable housing policy.

The KLLP2040 determines the development of RMM as follows:

1. Development of RMM in the Land Use Zones of City Centre Commercial (CCC), Major Commercial (MC), Commercial (C), Mixed Development (MX), Residential 3 (R3) and Residential 4 (R4) or in accordance with CULB2025 is permissible. RMM development in the Land Use Zone of Traditional Village 2 (TV2) must consider the aspects of accessibility, infrastructure, utilities, community facilities and surrounding environment;
2. Development of RMM in the Land Use Zone of Institution (INT) is subject to the needs of agencies as well as socioeconomic benefits in line with needs and planning of related agencies;
3. Development of RMM in the Land Use Zone of Public Facility (PF1) is not permissible for residential units. However, the development of a hostel is permissible with condition for the use of agencies and temporary support only;
4. Development of RMM in Land Use Zone of Traditional Village 1 (TV1) and Established Residential (EH) is not permissible and this incentive does not apply; and
5. Land Use Zones of Residential 1 (R1) and Residential 2 (R2) are permitted to be considered for RMM purposes subject to compliance with criteria such as infrastructure and utility capacity. This provision also emphasises that consideration of affordable housing development in Land Use Zones R1 and R2 is not permitted if it shares the same entrance and exit roads with existing low-density areas.

5-4.2 Determination of Plot Ratio Incentive for Developments with Affordable Housing (RMM) Components

This incentive aims to encourage the development and provision of RMM and the application is subject to the government's policy on RMM. This incentive includes items as follows:

1. The determination of this incentive should consider the minimum site area requirement of 30,000 square feet, the cost and technology of construction for RMM component development to ensure the provision of quality and sustainable housing; and
2. The determination of this plot ratio or density incentive is applicable based on the guidelines adopted by KLCH from time to time.

5-4.3 Planning Guide for Developments with Affordable Housing (RMM) Components

Housing developers must refer to the criteria, eligibility conditions, and provision of facilities for RMM development to obtain the following incentives:

1. The RMM development environment must be harmonious and in harmony with the surrounding developments;
2. Construction of RMM on lots adjacent to existing low-intensity residential areas or sharing the same access road is not encouraged;
3. Comprehensive RMM development must take into account the provision of support facilities in line with current needs, such as the development of learning centres and provision of related facilities;
4. Provision of RMM must consider elements of comprehensive community facilities for the local community and be supported by the provision of community facilities. These can be in the form of community centres and interactive community spaces such as open areas, multi-purpose halls, village halls, places of worship and others;
5. Construction of RMM components should be carried out in phases using the Industrialised Building System (IBS). The quality of affordable housing must meet the QLASSIC assessment to ensure a better construction quality score;
6. Application of Universal Design in building design and support facilities must consider usability by adults, children, the elderly and people with disabilities;
7. Granting of incentives is also encouraged to obtain residents' feedback, subject to suitability requirements of related agencies and as determined by the guidelines from time to time;
8. Commercial development within Affordable Housing buildings for the purpose of title issuance may be considered, subject to compliance with CULB2025 and relevant agency requirements; and
9. The provision or development of RMM components is encouraged in suitable TPZ or TIZ.



Location: PPAM Metropolitan Kepong



Location: PPAM Mercu Jalil

Source: <https://property.locally.my/listing/ppam-mercui-jalil>

Existing affordable housing programs in Kuala Lumpur to own a comfortable and quality home.



Location: Taman Metropolitan Kepong

Sourcer: <https://www.shutterstock.com/g/cantik>

View of the affordable housing scheme from Taman Metropolitan Kepong.

B1



APPENDIX 1



GAZETTED PLAN

BIL	LIST	PLAN NUMBER
1.	Kepong Baru	4001, 4001-1, 4023, 4023-1
2.	Taman Kepong	4002, 4002-1
3.	Taman Ibu Kota	4003-1
4.	Taman Setapak	4004-1
5.	Taman Sri Segambut	4005
6.	Taman City & Perumahan PKNS	4006
7.	Taman Kok Doh	4007
8.	Taman Overseas Union	4008, 4008-1, 4008-2
9.	Taman Mutiara	4009
10.	Taman Cheras	4010
11.	Taman Taynton	4011, 4011-1
12.	Taman Salak South	4012
13.	Taman Salak South timur	4012-1
14.	Taman Lian Hoe	4013
15.	Taman Midah	4014, 4014-1
16.	Taman Lee Yan Yian	4016
17.	Taman Kok Lian	4017, 4017-1
18.	Taman Bunga Raya	4018-1
19.	Taman Tun Dr Ismail	4022, 4022-1, 4022-2, 4022-3, 4022-4, 4022-5, 4022-6
20.	Taman Bukit Maluri (Peringkat 1B)	4024-1
21.	Taman Bukit Maluri (sebahagian dari Peringkat 1A dan kawasan perusahaan)	4024-2
22.	Bukit Bangsar	4025
23.	Taman Lucky	4025-1
24.	Bangsar Baru	4025-2
25.	Taman Bandaraya	4025-3
26.	Bukit Bandaraya	4025-5
27.	Taman Maluri	4027, 4027-1
28.	Taman Melewar	4028
29.	Sentul Jaya	4029
30.	Taman Yarl	4032, 4032-1
31.	Taman Goodwood, Taman Continental, Taman Skyline dan Taman Gembira	4034
32.	Taman Gembira	4034-1, 4034-2
33.	Taman Gembira Fasa 9, Taman Bukit Indah dan kawasan sekitar	4034-3
34.	Taman Rampai	4035
35.	Taman Sri Rampai	4035-1

GAZETTED PLAN

BIL	LIST	PLAN NUMBER
36.	Taman Eastern	4036
37.	Taman Batu	4037
38.	Taman Cuepacs	4038
39.	Taman Setapak Jaya	4039
40.	Taman Batu View	4040
41.	Taman Wahyu	4042
42.	Taman Beringin	4043
43.	Taman Nanyang	4044-1
44.	Taman Petaling	4045
45.	Taman Rowther	4046
46.	Taman Pelangi	4047
47.	Syarikat Kerjasama Polis	4048

B1



GLOSSARY AND ABBREVIATION



GLOSSARY

TERMS	INTERPRETATION
Affordable Housing	Affordable housing is a home that is affordable, liveable and safe to meet the needs of people in the B40 and part of M40 income groups, with a maximum price set to according to the current government policy.
Aged-friendly	The inclusive layer of society covers all ages, including children, youth and the elderly.
Amalgamation Lot	A minimum amalgamation of two (2) or more land lots that are bordered and located in the same land use zone with the suitable lot size of area to qualify the lot to obtain an increase in intensity.
Buffer Zone	A buffer zone is usually in the form of a green area, which separates two (2) land use activities that do not complement each other such as residential and industrial areas.
Built-up Area	An existing development area consisting of residential, commercial, industrial, institutional, public facilities and other infrastructure facilities.
Conductive	Suitable for achieving or encouraging the production of something good.
Disabled People	According to the Persons with Disabilities Act 2008, PWDs include those who have long-term physical, mental, intellectual or sensory disabilities that, when interacting with various barriers, can restrict their full and effective participation in society.
e-hailing	The process of ordering a car, taxi, limousine, or any other form of transportation through a virtual, computer or mobile cellular device.
Elderly	Individuals aged 60 years and above.
First and Last Mile	Referring to transportation solutions for short-distance travel, usually at the beginning or end of the journey.
Inclusive	Inclusive means covering all groups and layers of society among citizens, whether in terms of gender, ethnicity, socio-economic status, age, education, religion, and space.
Micromobility Vehicle	Micromobility Vehicles are a type of transportation mode of light vehicles such as electric scooters and bicycles such as shared bicycles, Electric Pedal-Assisted Bikes and others that are similar. It is a vehicle powered by an electric source, an internal combustion engine, or human power, either combined or used separately, and has a maximum speed of 50 kilometers per hour.
Mixed Development	Development that contains various types of development, such as residential, commercial and industrial.
Mobility Active	Pedestrian paths, bicycle paths and micromobility vehicles.
MRT – Line (SBK): MRT Sungai Buloh – Kajang	A 46km rail route where a 9.5km underground section runs beneath the centre of Kuala Lumpur, starting from Kwasa Damansara (northwest of Kuala Lumpur) and ending in Kajang.
MRT 2 – Line (SSP): MRT Sungai Buloh – Serdang - Putrajaya	A 57.7km rail route consisting of 44.2km of elevated track and 13.5km of underground rail. This rail line covers Kwasa Damansara, Sri Damansara, Kepong, Batu, Jalan Sultan Azlan Shah, Jalan Tun Razak, Kuala Lumpur City Centre (KLCC), Kuchai Lama, Seri Kembangan up to Putrajaya.
MRT 3 – Circle Line	The perimeter of this 51km rail line within the city of Kuala Lumpur and the surrounding areas has a significant impact on the urban transportation aspect in Kuala Lumpur and the Klang Valley by connecting travel in both directions within the existing MRT, LRT, KTM and Monorail rail networks. This route will pass through 10 strategically located interchange stations that can benefit the public.

GLOSSARY

TERMS	INTERPRETATION
Plot Ratio	Plot ratio means the ratio between the area of the floor space of the building and the area of the building plot as defined in Act 267 (Part 1, Section 2).
Public Space	Public space is a social space that is generally open and can be used by the public.
Redevelopment	A new development on an existing site or area involves the renewal of the whole or a large part of the area, covering the layout, structure, function and activities of the building or area.
Spatial	Spatial is related to space.
Sponge City Concept	Integrated innovative water management strategies in efforts to address the impacts of climate change, flood disaster mitigation, and water retention.
Transit Oriented Development, TOD	TOD is a development concept based on rail or bus public transport stations with a surrounding environment that has high connectivity, is user-friendly, and reduces dependence on motor vehicles. It encourages mixed and high-intensity development within walking distance of surrounding development components, such as residential and commercial, as well as promoting optimal and inclusive land and space development.
Universal Design	Defined as the design of environments and products that can be used freely by all groups of individuals without the need for any adaptation or special design

ABBREVIATION

	ENGLISH	MALAY
AKTA 267	Federal Territory (Planning) Act, 1982	Akta (Perancangan) Wilayah Persekutuan, 1982
AMSL	Above Mean Sea Level	
ART	Autonomous Rail Rapid Transit	
B40	Bottom 40%	Kumpulan Terendah 40%
C	Commercial	Perdagangan
CCC	City Centre Commercial	Perdagangan Pusat Bandar Raya
CCTV	Close-circuit television	Kamera Litar Tertutup
CDP	Kuala Lumpur Comprehensive Development Plan	Pelan Pembangunan Lengkap
CDRI	Climate Disaster Resilience Index	Indeks Ketahanan Bencana Iklim
CE	Cemeteries and Mortuary Management	Tanah Perkuburan dan Pengurusan Mayat
CP	Implementation Proposals	Cadangan Pelaksanaan
CPTED	Crime Prevention Through Environment Design	Pencegahan Jenayah Melalui Reka Bentuk Persekitaran
CULB2025	Classes of Use of Land and Buildings 2025	Kelas Kegunaan Tanah dan Bangunan 2025
DBKL	Kuala Lumpur City Hall	Dewan Bandaraya Kuala Lumpur
DCP	Development Control Plan	Pelan Kawalan Pembangunan
DINK	Double Income No Kids	
DO	Development Order	Perintah Pembangunan
ECRL	East Coast Railway Line	Laluan Kereta Api Pantai Timur
EH	Established Housing	Kediaman Stabil
ERL	Express Rail Link	Pautan Rel Ekspres
ETS	Electric Train Service	Perkhidmatan Kereta Api Elektrik
FR	Forest Reserve	Hutan Simpan
GFA	Gross Floor Area	Luas Lantai Kasar
HIA	Heritage Impact Assessments	Laporan Impak Warisan
HSR	High Speed Rail	Keretapi Berkelajuan Tinggi
INT	Institution	Institusi
IP	Industry	Industri
IU	Infrastructure and Utilities	Infrastruktur dan Utiliti
Jalan TAR	Tuanku Abdul Rahman Street	Jalan Tuanku Abdul Rahman
JKTWPKL	Federal Territory of Kuala Lumpur Land Executive Committee	Jawatankuasa Kerja Tanah Wilayah Persekutuan Kuala Lumpur
JMB	Joint Management Body	Badan Pengurusan Bersama
JWN	National Heritage Department	Jabatan Warisan Negara
JWP	Department of Federal Territories	Jabatan Wilayah Persekutuan

ABBREVIATION

	ENGLISH	MALAY
KL	Kuala Lumpur	Kuala Lumpur
KLCC	Kuala Lumpur Convention Centre	Menara Berkembar Petronas
KLDGP 2015	Kuala Lumpur Development Control Plan 2015	Pelan Kawalan Pembangunan Kuala Lumpur 2015
KLDGP 2025	Kuala Lumpur Development Control Plan 2025	Pelan Kawalan Pembangunan Kuala Lumpur 2025
KLIA	Kuala Lumpur International Airport	Lapangan Terbang Antarabangsa Kuala Lumpur
KLUDG	Kuala Lumpur Urban Design Guidelines	Garis Panduan Reka Bentuk Bandar Kuala Lumpur
KRM	Malay Reserve Area	Kawasan Rizab Melayu
KTM	Malayan Railway	Keretapi Tanah Melayu
KWP	Ministry of Federal Territories	Kementerian Wilayah Persekutuan
LC	Local Commercial	Perdagangan Tempatan
LED	Light Emitting Diode	Diod pemancar cahaya
LRT	Light Rail Transit	Transit Aliran Ringan
M40	Middle 40%	Kumpulan Pertengahan 40%
MAS	Malay Agricultural Settlement	Malay Agricultural Settlement
MC	Management Corporation	Perbadanan Pengurusan
MC	Major Commercial	Perdagangan Utama
MICE	Meeting, Incentives, Conferences and Exhibitions	Mesyuarat, Insentif, Persidangan dan Pameran
MOTAC	Ministry of Tourism, Arts and Culture	Kementerian Pelancongan, Seni dan Budaya
MRA	Malay Reserve Area	Kawasan Rizab Melayu
MRT – Laluan (SBK)	MRT Sungai Buloh – Kajang Line	MRT Laluan Sungai Buloh – Kajang
MRT 2 – Laluan (SSP)	MRT Sungai Buloh – Serdang – Putrajaya Line	MRT Laluan Sungai Buloh – Serdang - Putrajaya
MRT 3 – Laluan Lingkaran	MRT Circle Line	MRT Laluan Lingkaran
MX	Mixed Development	Pembangunan Bercampur
MXI	Mixed Industry	Industri Bercampur
NPE	New Pantai Expressway	Lebuhraya Pantai Baru
OKU	Persons with disabilities	Orang Kelainan Upaya
OS1	Public Open Space 1	Kawasan Lapang Awam 1
OS2	Public Open Space 2	Kawasan Lapang Awam 2
OS3	Private Open Space	Kawasan Lapang Swasta
OS4	Public Open Space in Private Scheme	Kawasan Lapang Awam dalam Skim Persendirian
OSE	Person Per Acre	Orang Seekar
PA	Public Housing	Perumahan Awam

ABBREVIATION

	ENGLISH	MALAY
PASS	Subsidised Rental Public Housing	Perumahan Awam Sewa Bersubsidi
PBRKL 2020	Kuala Lumpur City Plan 2020	Pelan Bandar Raya Kuala Lumpur 2020
PBT	Local Authority	Pihak Berkuasa Tempatan
PF1	Public Facilities	Kemudahan Masyarakat Awam
PF2	Private Facilities	Kemudahan Masyarakat Swasta
PKPR	Small Office Home Office	Pejabat Kecil Pejabat Rumah
PPA	Person Per Acre	Orang Seekar
PPAM		Perumahan Penjawat Awam Malaysia
PPK	Special Area Management	Pengurusan Kawasan Khas
PPR		Program Perumahan Rakyat
PR1MA		Perumahan Rakyat 1 Malaysia
PSKL2040	Kuala Lumpur Structure Plan 2040	Pelan Struktur Kuala Lumpur 2040
PTKL2040	Kuala Lumpur Local Plan 2040	Pelan Tempatan Kuala Lumpur 2040
R&D	Research and Development	Pendidikan dan Penyelidikan
R1	Residential 1	Kediaman 1
R2	Residential 2	Kediaman 2
R3	Residential 3	Kediaman 3
R4	Residential 4	Kediaman 4
RMM	Affordable Housing	Rumah Mampu Milik
RoL	River of Life	
TLK	Parking lot	Tempat Letak Kereta
TLM	Motorcycle Parking	Tempat Letak Motosikal
TOD	Transit- oriented development	Pembangunan Berorientasikan Transit
TP	Technology Park	Taman Teknologi
TPZ	Transit Planning Zone	Zon Perancangan Transit
TR	Transportation	Pengangkutan
TRX	Tun Razak Exchange	Tun Razak Exchange
TTDI	Taman Tun Dr. Ismail	Taman Tun Dr. Ismail
TV1	Traditional Village 1	Perkampungan Tradisi 1
TV2	Traditional Village 2	Perkampungan Tradisi 2
TWG	Technical Working Group	Kumpulan Kerja Teknikal
UDGKL	Urban Design Guidelines Kuala Lumpur City Centre	Garis Panduan Reka Bentuk Bandar Pusat Bandaraya Kuala Lumpur
WPKL	Federal Territory of Kuala Lumpur	Wilayah Persekutuan Kuala Lumpur
YUPPIES	Young Urban Professionals	

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DEWAN BANDARAYA KUALA LUMPUR

